

SEC. 19, T 24 N, R 5E, W.M.

Project 4833 MI

Preliminary 4 - Lot Short Plat

MATTERS OF RECORD:

THE HEREIN DESCRIBED PROPERTY IS SUBJECT TO THE FOLLOWING EASEMENTS AND ENCUMBRANCES OF RECORD:

- COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON LINDLEY ADDITION TO SEATTLE PER RECORDING NO. 32487
- RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS FOR FRANK W. FLOOD ROAD RECORDED IN VOLUME 29 ON PAGE 345 OF COMMISSIONER'S RECORDS.
- EASEMENT FOR WATER PIPELINE AND WATER SERVICE PER RECORDING NO. 3766695 (EXACT LOCATION IS NOT SPECIFIED).
- RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS PER RECORDING NO'S 4793511 AND 5056292.
- EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINES PER CAUSE NO. 679116.
- EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR WATER PIPELINES PER CAUSE NO. 679116 (EXACT LOCATION IS NOT SPECIFIED).
- DECREE OF APPROPRIATION ENTERED IN KING COUNTY CAUSE NO. 541679 AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 5150805.
- EASEMENT FOR PUGET SOUND POWER AND LIGHT COMPANY GUY WIRE AND ANCHOR PER RECORDING NO. 6258135.
- NOTICE OF ADDITIONAL TAP AND CONNECTION CHARGES AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 7712060812.
- COVENANTS, CONDITIONS RESTRICTIONS, RECITALS, EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON MERCER ISLAND LOT LINE REVISION SUB15-018 PER RECORDING NO. 20160519900008.

LEGAL DESCRIPTION:

THE NORTH 200 FEET OF THE SOUTH 400 FEET OF VACATED BLOCK 4, LINDLEY ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 103, RECORDS OF KING COUNTY, WASHINGTON.

TOGETHER WITH THAT PORTION OF VACATED 90TH AVENUE ADJOINING PURSUANT TO KING COUNTY SUPERIOR COURT CAUSE NO. 679116.

EXCEPT THE WEST 10 FEET THEREOF CONVEYED TO KING COUNTY FOR ROAD BY DEEDS RECORDED UNDER RECORDING NO. 5056292 AND RECORDING NO. 4793511.

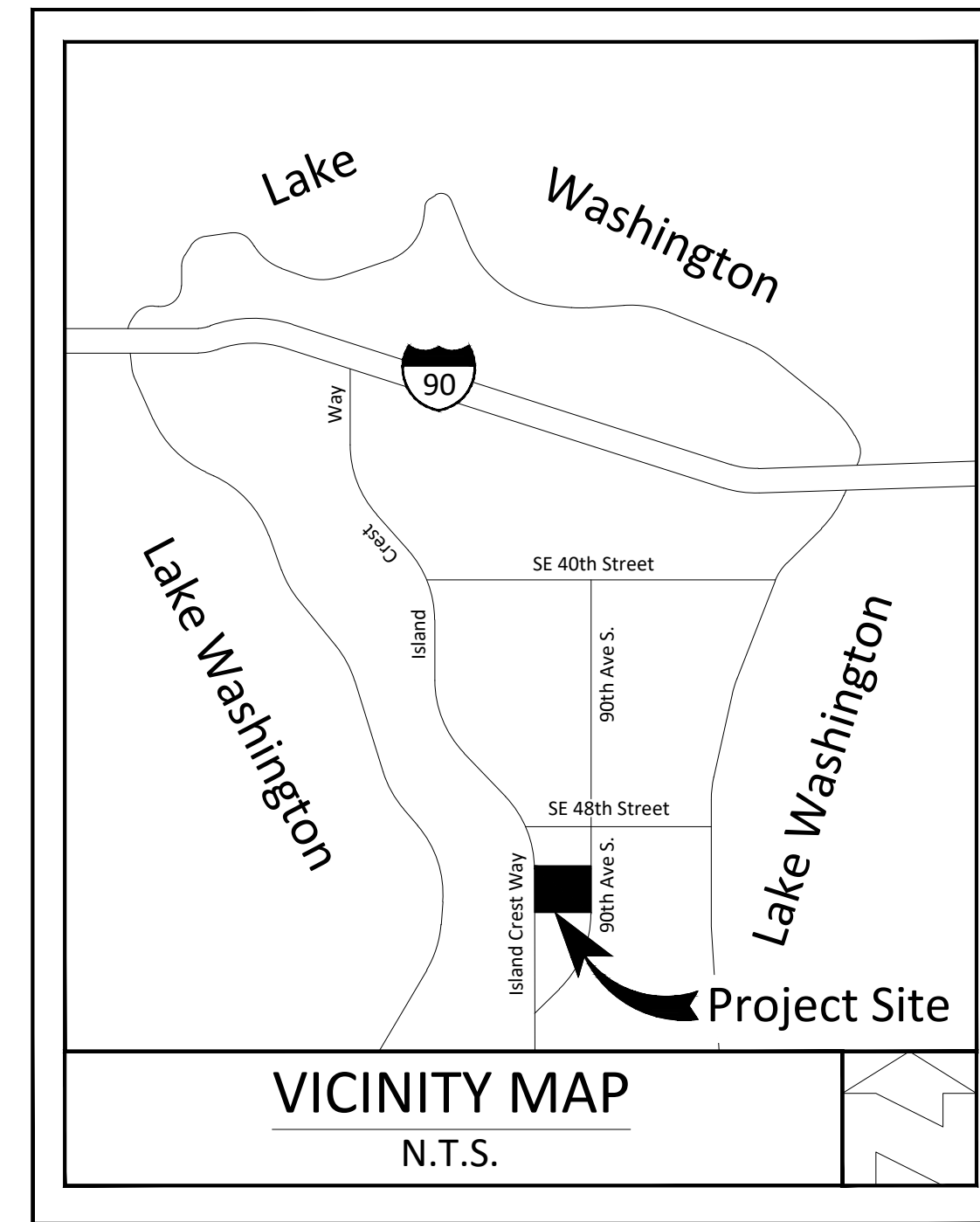
AND EXCEPT THAT PORTION THEREOF APPROPRIATED IN KING COUNTY SUPERIOR COURT CAUSE NO. 541679, RECORDED UNDER RECORDING NO. 4793511.

REFERENCE SURVEYS:

- PLAT OF LINDLEY ADDITION TO SEATTLE, VOL. 3 PG. 103.
- MERCER ISLAND SHORT PLAT SUB12-0006, REC. NO. 20131220900005.
- MERCER ISLAND BOUNDARY LINE REVISION, REC. NO. 20160519900008.

TOPOGRAPHY SURVEY NOTES:

- BASIS OF BEARINGS IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM, N.A.D. 1983/2011, BASED ON GPS TIES TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN).
- ELEVATION DATUM IS N.A.V.D. 1988 BASED ON GPS TIES TO THE WSRN.
- FIELD WORK WAS DONE IN MARCH OF 2022 USING A TRIMBLE R8 GNSS GPS RECEIVER, AND A SPECTRA PRECISION FOCUS 35 ROBOTIC TOTAL STATION IN ACCORDANCE WITH W.A.C. 332-130.
- THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BASE MAP FOR CIVIL ENGINEERING DESIGN.
- THE CONTOURS SHOWN ARE DERIVED FROM DIRECT FIELD OBSERVATIONS. THE CONTOUR INTERVAL IS 2.0 FEET AND THE CONTOUR ACCURACY IS ONE HALF OF THE INTERVAL (±1.0 FEET).
- PROPERTY LINES SHOWN ARE BASED ON A FIELD SURVEY.
- THE LEGAL DESCRIPTION AND MATTERS OF RECORD ARE TAKEN FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY, CERTIFICATE NUMBER 611311326, DATED FEBRUARY 10, 2022 AT 8:00 AM.
- THE UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF PAINT MARKS PROVIDED BY APPLIED PROFESSIONAL SERVICES, INC. AND THE SURVEYED LOCATION OF OBVIOUS SURFACE FEATURES. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON AND AROUND THIS SITE.



Applicant / Project Owner

Mr. Jintao (Adison) Cui
Home-Link Capital LLC
7683 SE 27th Street, Unit 186
Mercer Island, WA 98040
(206) 265 - 0810
adisoncui@outlook.com

SHEETS INDEX

- C - 1.0 Cover Sheet Plan.
- C - 2.0 Existing Site Conditions Plan.
- C - 3.0 Existing Parcel Map Plan.
- C - 4.0 Preliminary Short Plat Map Plan.
- C - 5.0 TESC Plan.
- C - 6.0 Developed Site Conditions Map Plan.
- C - 7.0 Preliminary Grading, Drainage, and Utilities Plan.

Existing Site Data:

Parcel Number: 4351300487
Parcel Address: 4833 90th Ave. SE
Mercer Island, WA 98040
Zoning: R - 8.5
Total Parcel Area (per survey): 41,165 s.f. = 0.945 Acre

Total Existing Impervious Surfaces = 5,862.0 sf
Percentage of Existing Impervious Surfaces = 14.2 %
Total Existing Pervious Surfaces = Grass 4,632.0 sf +
Forest 30,671.0 sf = 35,303.0 sf
Percentage of Existing Pervious Surfaces = 85.8 %

Zoning Requirements:

Min. Lot Width Required: 60'
Min. Lot Depth Required: 80'
Min. Lot Area Required: 8,400 s.f.
Max. Lot Coverage: 40%
Required Landscape: 60%
Required Front Yard Setback: 20'
Required Rear Yard Setback: 25'
Minimum Side Yard Setback: 7.5'
Minimum Total Side Yard Setback: 15'

Project Description:

Proposed Residential 4 Lot Short Plat

Property Owner:

Mr. Jintao (Adison) Cui
Home - Link Capital LLC
7683 SE 27th Street, Unit 186
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Email: adisoncui@outlook.com
(206) 265 - 0810

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NOTES

See detailed project information and detailed area calculations on sheet C - 6.0

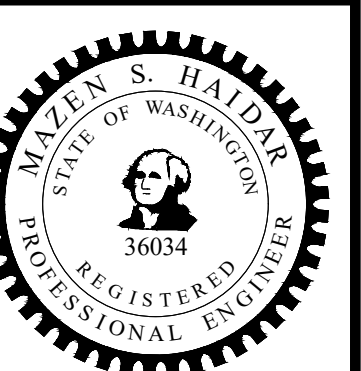
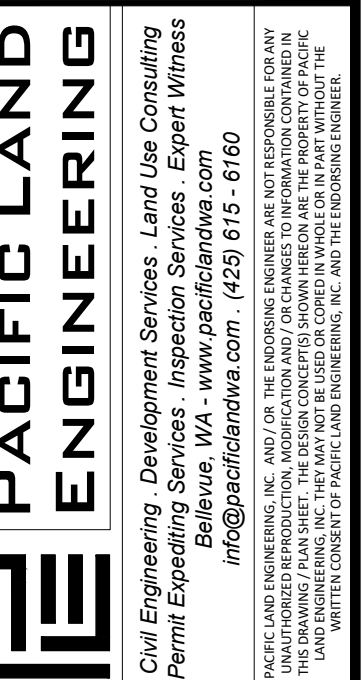


Revisions
No. Date By

Project 4833 MI_ 4 - Lot Short Plat

Cover Sheet Plan

Plan Plotted For :
Third Submittal



Date: 12 / 01 / 2023
STAMP IS NOT VALID UNLESS SIGNED AND DATED

Job Number: 220520 - PLE - 2211

DWG Date: 12 / 01 / 2023

Sheet No. C - 1.0

OF

C - 7.0

SEC. 19, T.24N., R.5E., W.M.

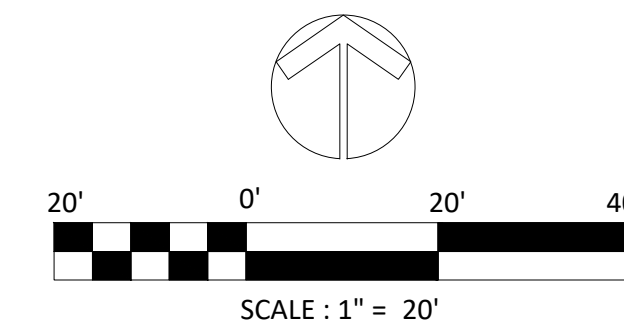
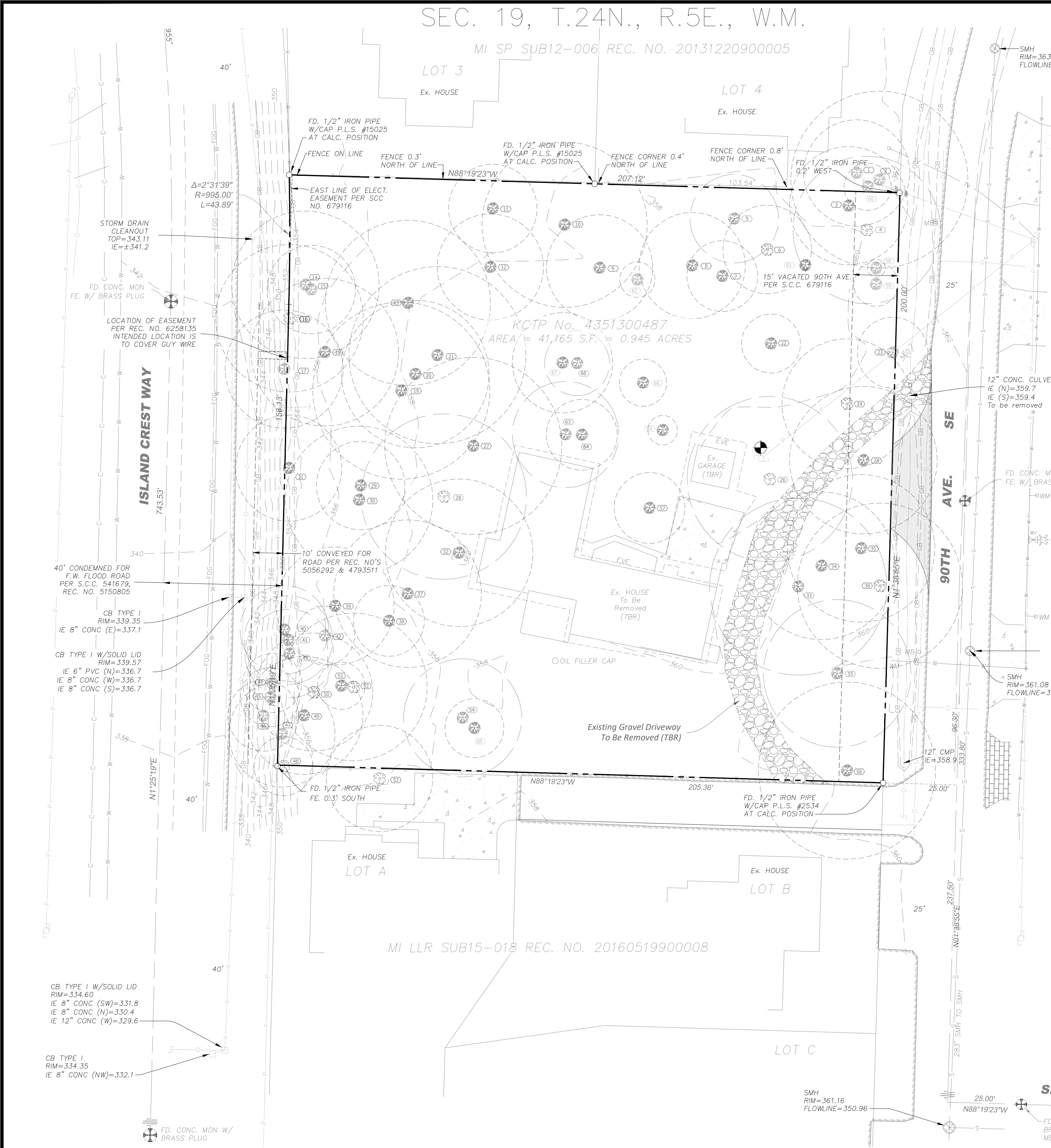
MI SP SUB12-006 REC. NO. 20131220900005

LOT 3 Ex. HOUSE

LOT 4 Ex. HOUSE

KCTP No. 4351300487
AREA = 41,165 S.F. = 0.945 ACRES

MI LLR SUB15-018 REC. NO. 20160519900008



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811 OR 1-800-424-5555

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SURVEYOR'S CERTIFICATE:
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF HOME LINK CAPITAL LLC
1M MARCH OF 2022

ROBERT J. BOGDON
CERTIFICATE NO. 33487

Property Owner:

Mr. Jintao (Adison) Cui
Home - Link Capital LLC
7683 SE 27th Street, Unit 186
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Email: adisoncui@outlook.com
(206) 265 - 0810

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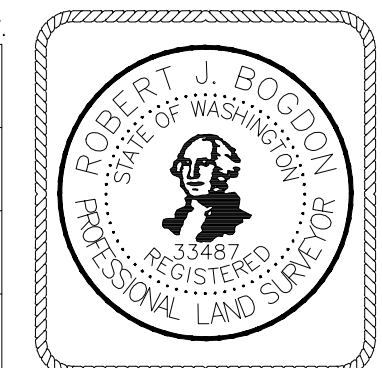
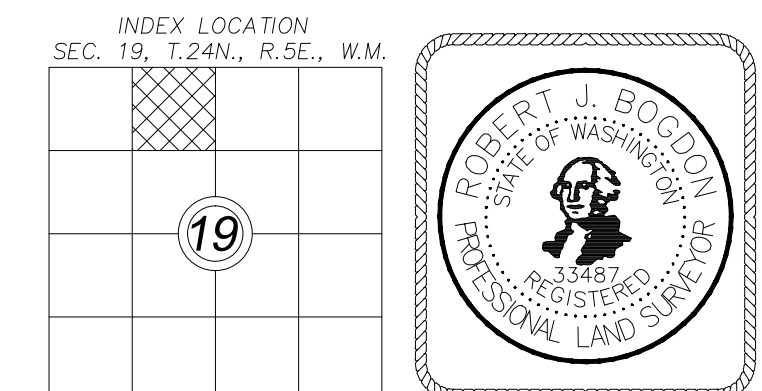
(Grade 330 - Grade 354) / 207' = 2.90 %

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- | | | | |
|---|---|---|--|
| Mercer Island Fire Department
4160 86th Ave SE
Mercer Island, WA 98040
(206) 236 - 3330 | Telephone and Cable
Comcast
P. O. Box 60533
City of Industry, CA 91716
(800) 934 - 6489 | Project Engineer:
Mazen Haidar, PE
Pacific Land Engineering
mazen@pacificlandwa.com
(206) 615 - 6160 | Project Surveyor:
Robert Bogdon, PLS
Eastside Consultants, Inc.
1320 N.W. Mall Street, Suite B
(425) 392 - 5351 |
| Mercer Island School District
4160 86th Ave SE
Mercer Island, WA 98040
(206) 236 - 3330 | Power and Gas Source
Puget Sound Energy (PSE)
201 South Jackson Street
Bellevue, WA 98009
(888) 321 - 7779 | Water Purveyor
City of Mercer Island
9611 SE 36th Street
Mercer Island, WA 98040
(206) 275 - 7602 | Sewer Purveyor
King County
201 South Jackson Street
Seattle, WA 98104
(206) 296 - 1450 |

See Sheet C-2.1 for Trees Table



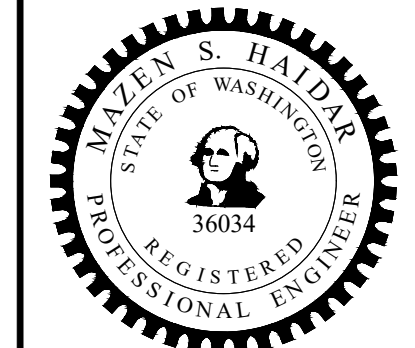
ENGINEERS - SURVEYORS
EASTSIDE CONSULTANTS, INC.
1320 N.W. MALL ST., SUITE B
ISSAQUAH, WASHINGTON 98027
PH: (425) 392-5351 FAX: 392-4676

Revisions	No.	Date	By

Project 4833 MI_4 - Lot Short Plat
Existing Site Condition Plan

Plan Plotted For:
Third Submittal

PACIFIC LAND ENGINEERING
Civil Engineering, Development Services, Land Use Consulting
Permit Expediting Services, Inspection Services, Expert Witness
Bellevue, WA - www.pacificlandwa.com
info@pacificlandwa.com (425) 615-6160
Call Before You Dig 811



Date:	12 / 01 / 2023
Job Number:	220520 - PLE - 2211
DWG Date:	12 / 01 / 2023
Sheet No.	C - 2.0 OF C - 7.0

SEC. 19, T.24N., R.5E., W.M.

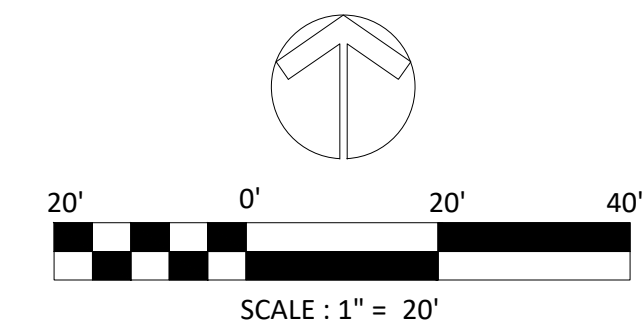
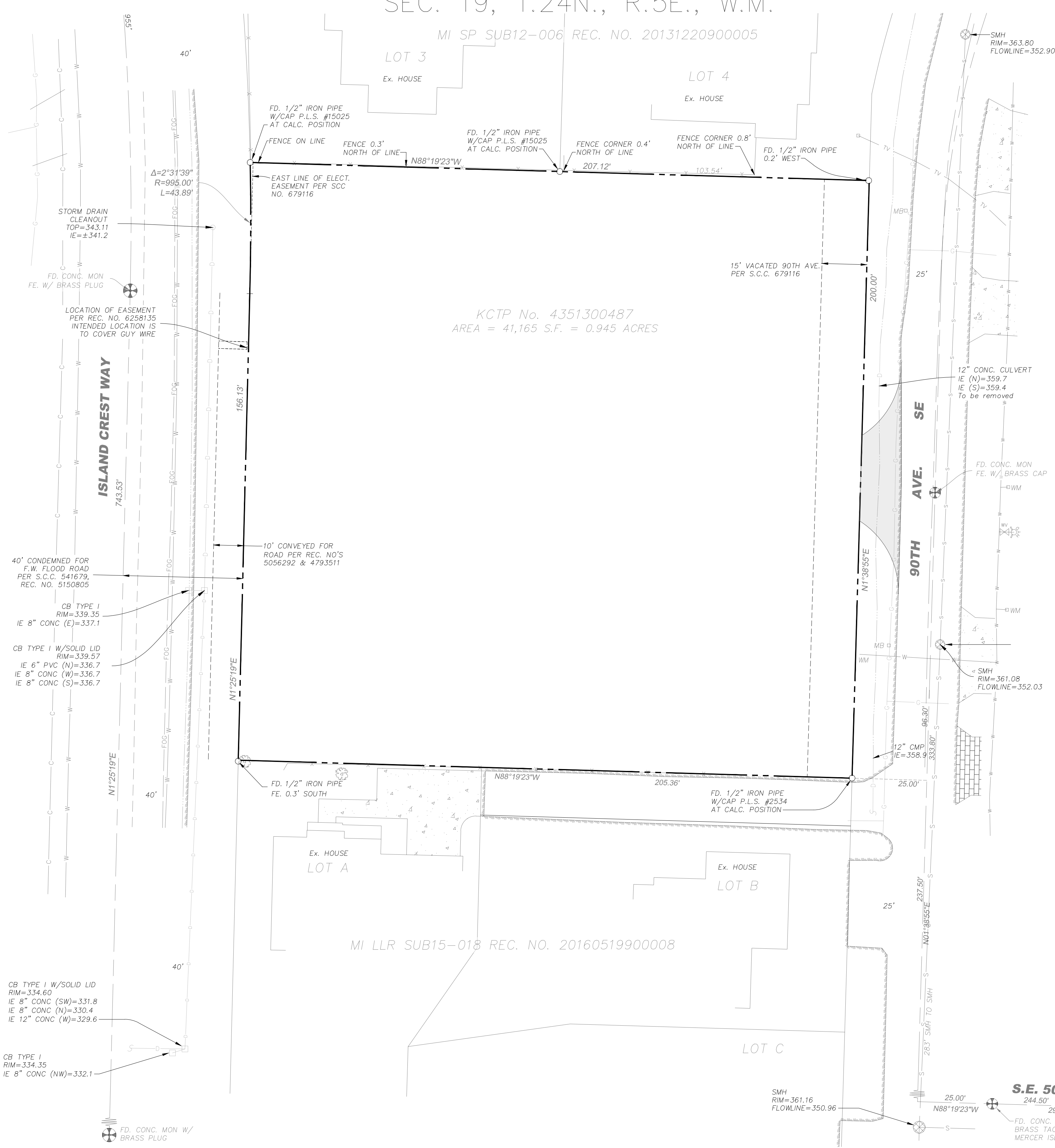
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AND EXCEPT THAT PORTION THEREOF APPROPRIATED IN KING COUNTY SUPERIOR COURT CAUSE NO. 541679, RECORDED UNDER RECORDING NO. 4793511.

Mercer Island Fire Department

4160 86th Ave SE
Mercer Island, WA 98040
(206) 236 - 3330

Telephone and Cable

Comcast
P. O. Box 60533
City of Industry, CA 91716
(800) 934 - 6489

Project Engineer:

Mazen Haidar, PE
Pacific Land Engineering
mazen@pacificlandwa.com
(206) 615 - 6160

Project Surveyor:

Robert Bogdon, PLS
Eastside Consultants, Inc.
1320 N.W. Mall Street, Suite B
(425) 392 - 5351

Mercer Island School District

4160 86th Ave SE
Mercer Island, WA 98040
(206) 236 - 3330

Power and Gas Source

Puget Sound Energy (PSE)
P. O. Box 91269
Bellevue, WA 98009
(888) 321 - 7779

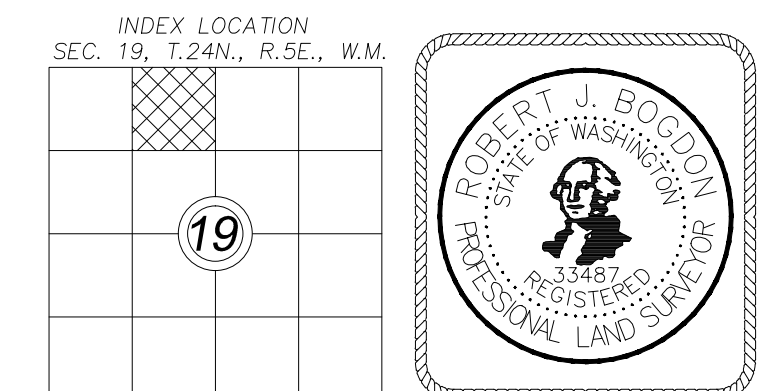
Water Purveyor

City of Mercer Island
201 South Jackson Street
Mercer Island, WA 98040
(206) 275 - 7602

Sewer Purveyor

King County
201 South Jackson Street
Seattle, WA 98104
(206) 296 - 1450

See Sheet C-2.1 for Trees Table



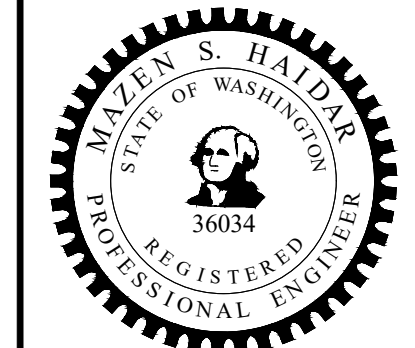
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EASTSIDE CONSULTANTS, INC.
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ISSAQUAH, WASHINGTON 98027
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Revisions	No.	Date	By

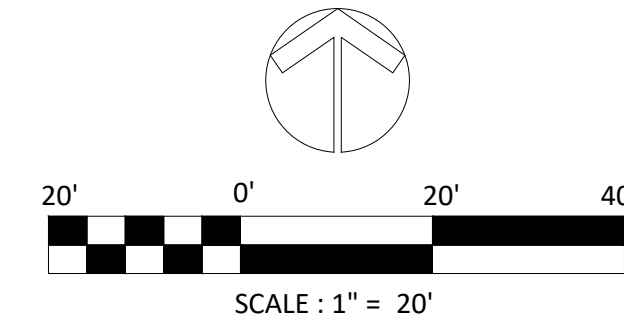
Project 4833 MI_4 - Lot Short Plat
Existing Parcel Map Plan

Plan Plotted For:
Third Submittal

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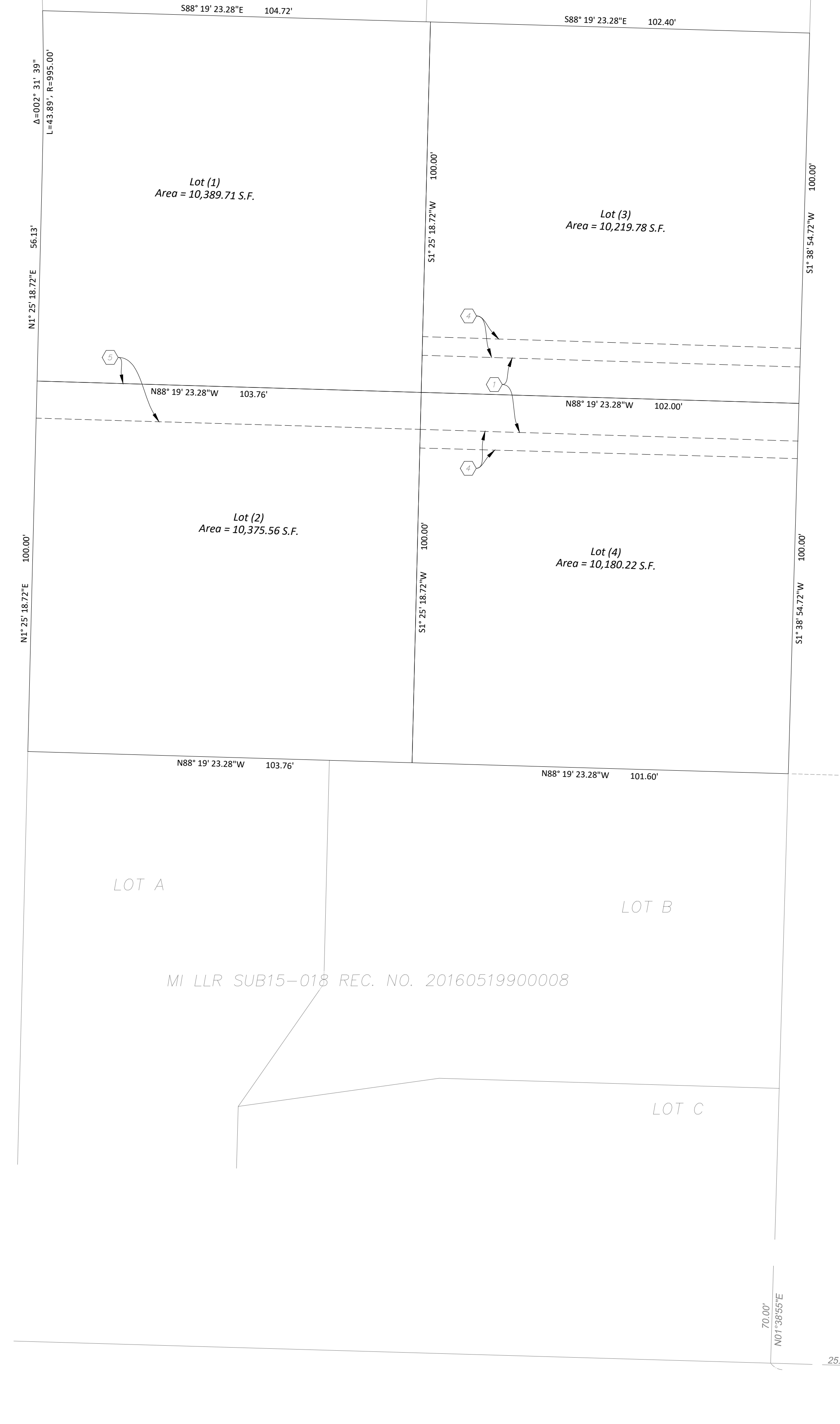
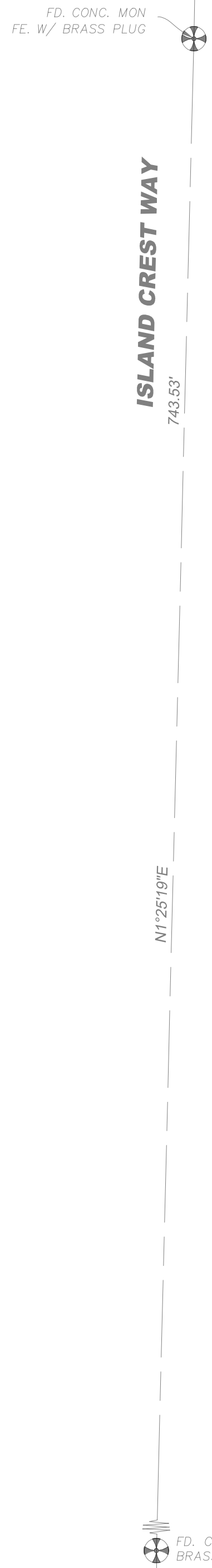


Date:	12 / 01 / 2023
Job Number:	220520 - PLE - 2211
DWG Date:	12 / 01 / 2023
Sheet No.	C - 3.0 OF C - 7.0



LEGEND:

	= POWER POLE
	= GUY POLE
	= GUY ANCHOR
	= OVERHEAD POWER
	= FIRE HYDRANT
	= WATER VALVE
	= WATER METER
	= WATER LINE (PAINTED LOCATION)
	= UNDERGROUND COMMUNICATION (PAINTED LOCATION)
	= TELEVISION RISER
	= UNDERGROUND TELEVISION (PAINTED LOCATION)
	= CATCH BASIN
	= STORM DRAIN LINE/CULVERT
	= GAS VALVE
	= UNDERGROUND GAS LINE (PAINTED LOCATION)
	= SEWER MANHOLE
	= SEWER LINE
	= MAIL BOX
	= EVERGREEN TREE
	= DECIDUOUS TREE
	= WOOD BOARD FENCE LINE
	= FOG LINE (LANE STRIPE)
	= DITCH LINE
	= GRADE BREAK
	= EDGE OF PAVEMENT/CURB LINE
	= CONCRETE
	= CONCRETE PAVERS
	= GRAVEL
	= TBM 600 SPIKE IN POWER POLE ELEV = 361.47 (NAVD 1988)



- ① 20' Wide Private Access and Drainage Easement
- ② 5' Wide Private Water and Sewer Easement
- ③ 10' Wide Private Drainage and Access Easement

LEGAL DESCRIPTION:

THE NORTH 200 FEET OF THE SOUTH 400 FEET OF VACATED BLOCK 4, LINDLEY ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 103, RECORDS OF KING COUNTY, WASHINGTON.

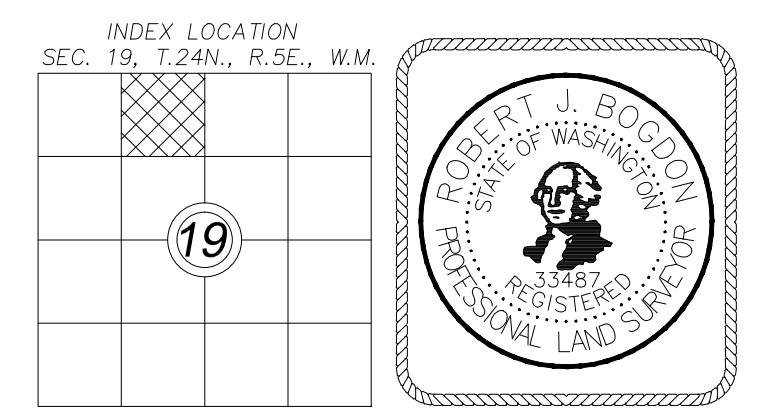
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AND EXCEPT THAT PORTION THEREOF APPROPRIATED IN KING COUNTY SUPERIOR COURT CAUSE NO. 541679, RECORDED UNDER RECORDING NO. 4793511.

NOTE

ALL building permits are subject to meeting current fire code requirements at the time of a complete submittal, including fire apparatus access as outlined in adopted code sections of the International Fire Code Appendix D. Fire plan reviews will be conducted at time of building permit submittal and may require additional fire protection systems and/or additional fire prevention measures for building permit approval."



ENGINEERS - SURVEYORS
EASTSIDE CONSULTANTS, INC.
 1320 N.W. MALL ST., SUITE B
 ISSAQUAH, WASHINGTON 98027
 PH: 425-392-6351 FAX: 392-4676

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Project 4833 MI _ 4 - Lot Short Plat

Preliminary Short Plat Map

Plan Plotted For:
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 Civil Engineering, Development Services, Land Use Consulting, Surveying, Inspection Services, Expert Witness
 Bellevue, WA - www.pacificlandeng.com
 info@pacificlandeng.com (425) 675-0769

STATE OF WASHINGTON
 REGISTERED PROFESSIONAL ENGINEER
 36034

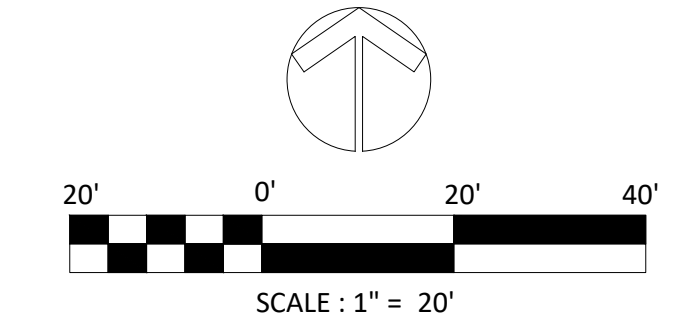
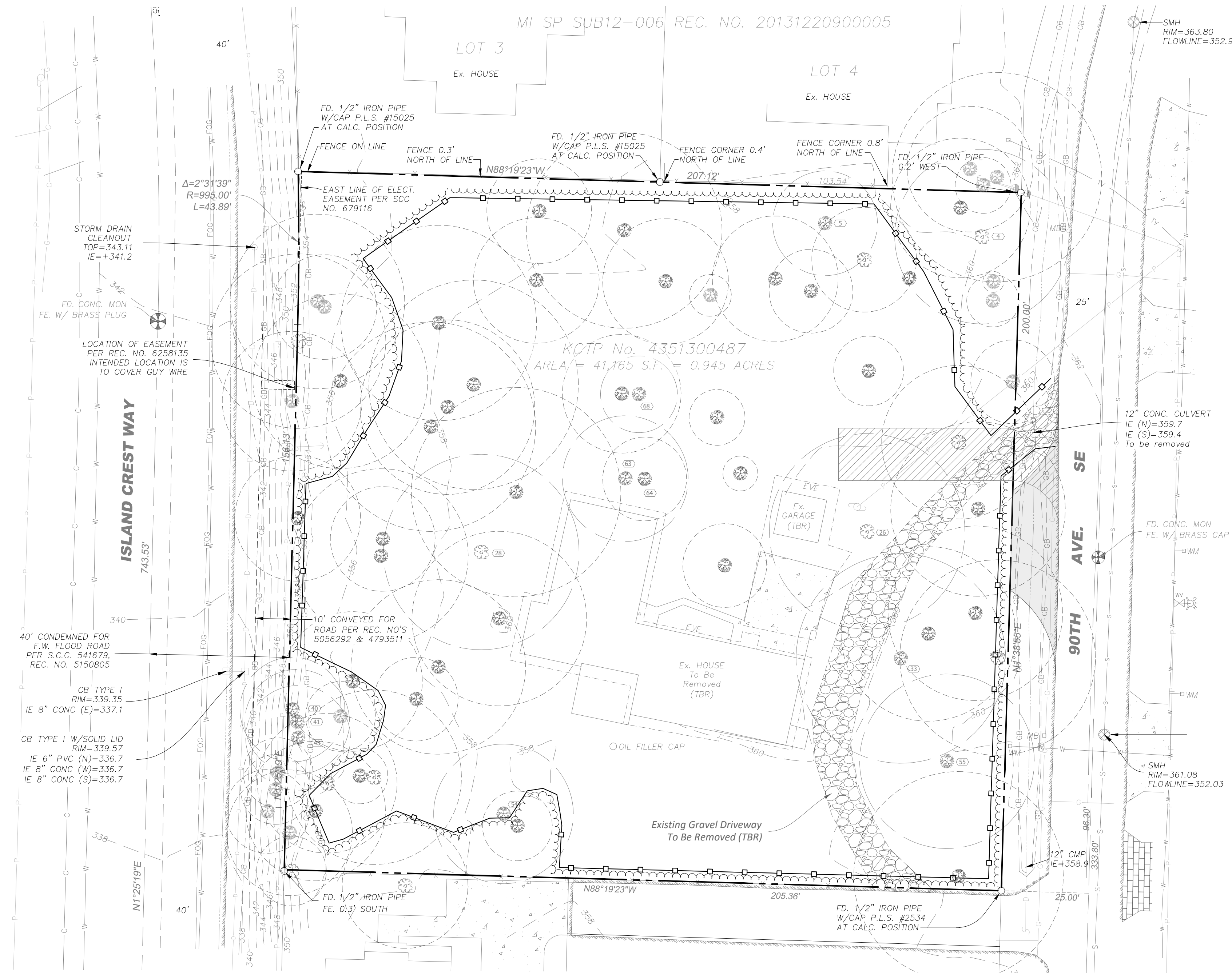
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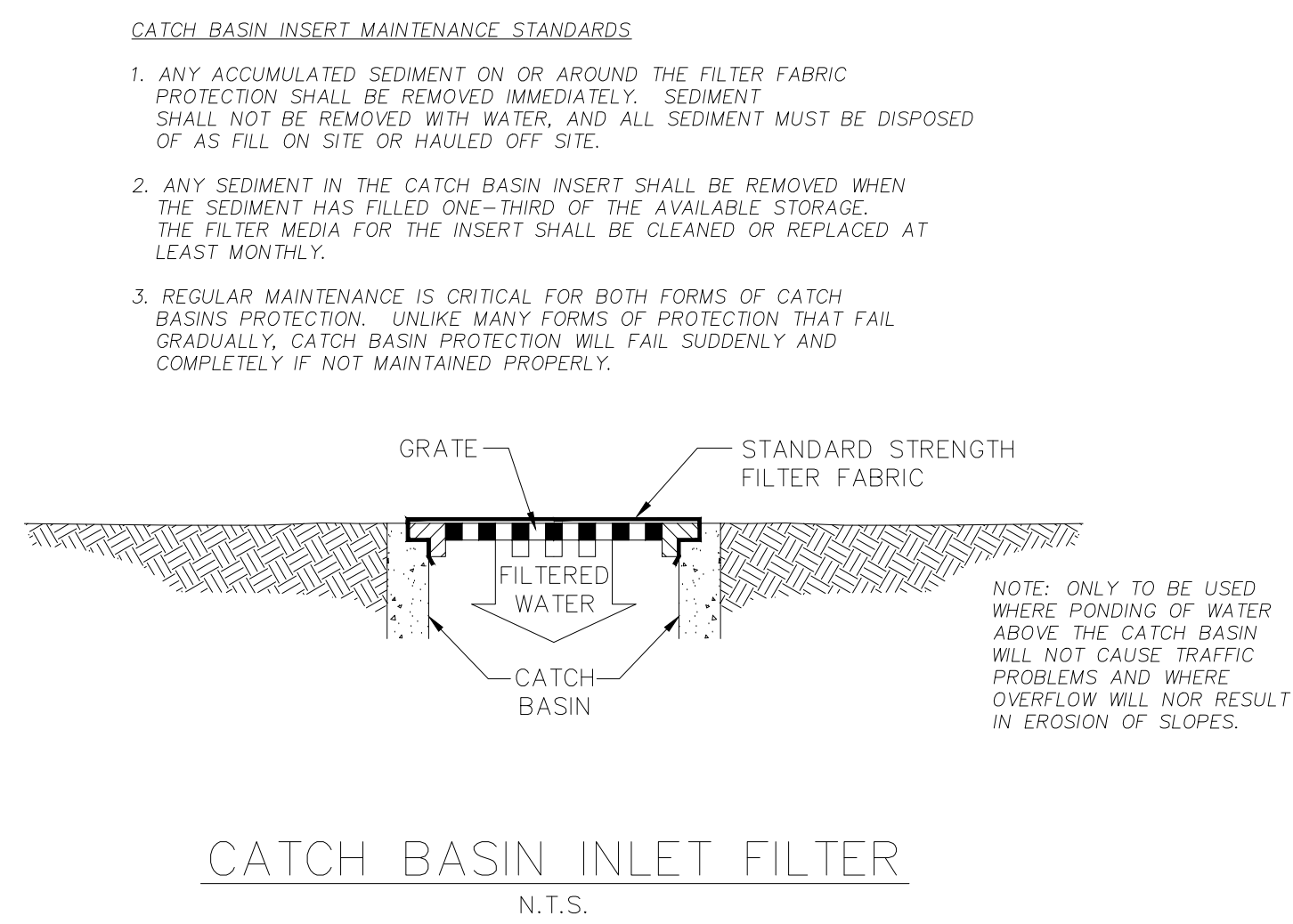
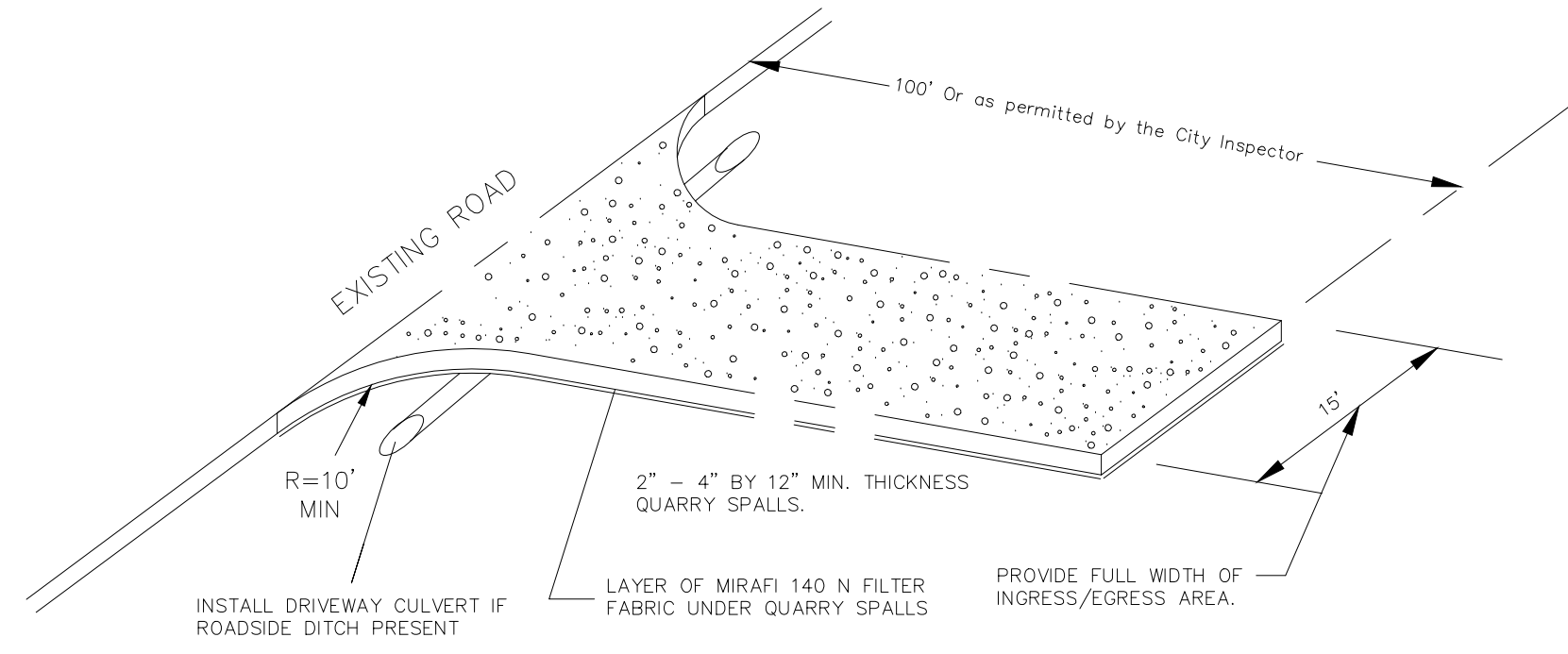
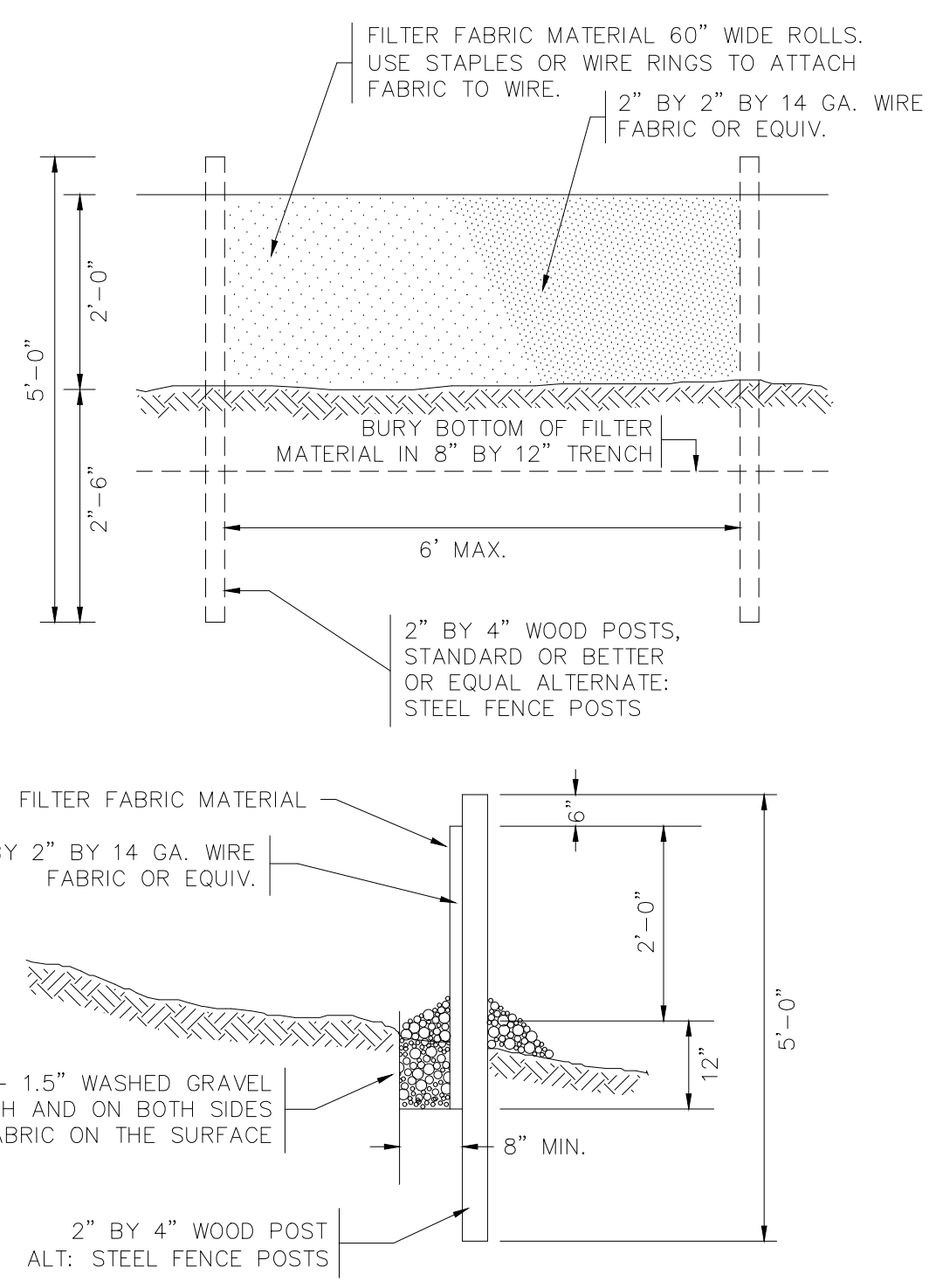
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SEC. 19, T.24N., R.5E., W.M.

MI SP SUB12-006 REC. NO. 20131220900005



- LEGEND:**
- = POWER POLE
 - = GUY POLE
 - = GUY ANCHOR
 - = OVERHEAD POWER
 - = FIRE HYDRANT
 - = WATER VALVE
 - WM = WATER METER
 - W = WATER LINE (PAINTED LOCATION)
 - U = UNDERGROUND COMMUNICATION (PAINTED LOCATION)
 - TVR = TELEVISION RISER
 - TV = UNDERGROUND TELEVISION (PAINTED LOCATION)
 - CB = CATCH BASIN
 - = STORM DRAIN LINE/ CULVERT
 - = GAS VALVE
 - = UNDERGROUND GAS LINE (PAINTED LOCATION)
 - SMH = SEWER MANHOLE
 - S = SEWER LINE
 - MB = MAIL BOX
 - = EVERGREEN TREE
 - = DECIDUOUS TREE
 - = WOOD BOARD FENCE LINE
 - = FOG LINE (LANE STRIPE)
 - = DITCH LINE
 - = GRADE BREAK
 - = EDGE OF PAVEMENT/CURB LINE
 - = CONCRETE
 - = CONCRETE PAVERS
 - = GRAVEL
 - = TBM = 600 SPIKE IN POWER POLE (ELEV = 361.47 (NAVD 1988))
 - Site Limits Of Disturbance (LOD)
 - Fabric Silt Fence
 - 15' Wide X 50' Long X 12" Thick Temporary Construction Entrance



- CATCH BASIN INSERT MAINTENANCE STANDARDS**
1. ANY ACCUMULATED SEDIMENT ON OR AROUND THE FILTER FABRIC PROTECTION SHALL BE REMOVED IMMEDIATELY. SEDIMENT SHALL NOT BE REMOVED WITH WATER, AND ALL SEDIMENT MUST BE DISPOSED OF AS FILL ON SITE OR HAULED OFF SITE.
 2. ANY SEDIMENT IN THE CATCH BASIN INSERT SHALL BE REMOVED WHEN THE SEDIMENT HAS FILLED ONE-THIRD OF THE AVAILABLE STORAGE. THE FILTER MEDIA FOR THE INSERT SHALL BE CLEANED OR REPLACED AT LEAST MONTHLY.
 3. REGULAR MAINTENANCE IS CRITICAL FOR BOTH FORMS OF CATCH BASIN PROTECTION. UNLIKE MANY FORMS OF PROTECTION THAT FAIL GRADUALLY, CATCH BASIN PROTECTION WILL FAIL SUDDENLY AND COMPLETELY IF NOT MAINTAINED PROPERLY.

Revisions	
No.	By

Project 4833 MI_4 - Lot Short Plat
Temporary Erosion and Sedimentation Control (TESC) Plan

Plan Plotted For:
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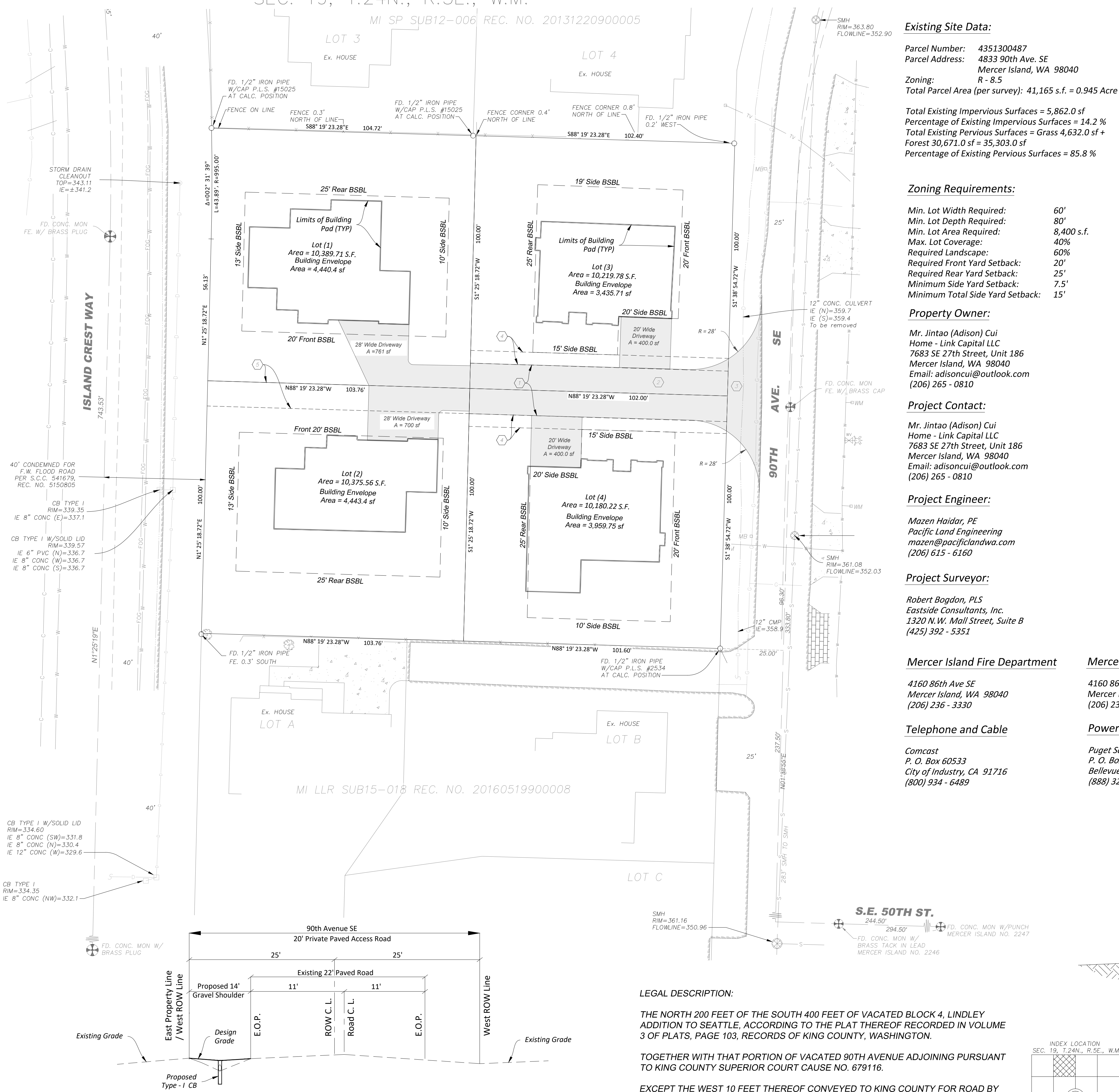
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SEC. 19, T.24N., R.5E., W.M.

MI SP SUB12-006 REC. NO. 20131220900005

MI LLR SUB15-018 REC. NO. 20160519900008



Existing Site Data:
 Parcel Number: 4351300487
 Parcel Address: 4833 90th Ave. SE
 Mercer Island, WA 98040
 Zoning: R - 8.5
 Total Parcel Area (per survey): 41,165 s.f. = 0.945 Acre
 Total Existing Impervious Surfaces = 5,862.0 sf
 Percentage of Existing Impervious Surfaces = 14.2 %
 Total Existing Pervious Surfaces = Grass 4,632.0 sf + Forest 30,671.0 sf = 35,303.0 sf
 Percentage of Existing Pervious Surfaces = 85.8 %

Zoning Requirements:
 Min. Lot Width Required: 60'
 Min. Lot Depth Required: 80'
 Min. Lot Area Required: 8,400 s.f.
 Max. Lot Coverage: 40%
 Required Landscape: 60%
 Required Front Yard Setback: 20'
 Required Rear Yard Setback: 25'
 Minimum Side Yard Setback: 7.5'
 Minimum Total Side Yard Setback: 15'

Property Owner:
 Mr. Jintao (Adison) Cui
 Home - Link Capital LLC
 7683 SE 27th Street, Unit 186
 Mercer Island, WA 98040
 Email: adisoncui@outlook.com
 (206) 265 - 0810

Project Contact:
 Mr. Jintao (Adison) Cui
 Home - Link Capital LLC
 7683 SE 27th Street, Unit 186
 Mercer Island, WA 98040
 Email: adisoncui@outlook.com
 (206) 265 - 0810

Project Engineer:
 Mazen Haidar, PE
 Pacific Land Engineering
 mazen@pacificlandwa.com
 (206) 615 - 6160

Project Surveyor:
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 Eastside Consultants, Inc.
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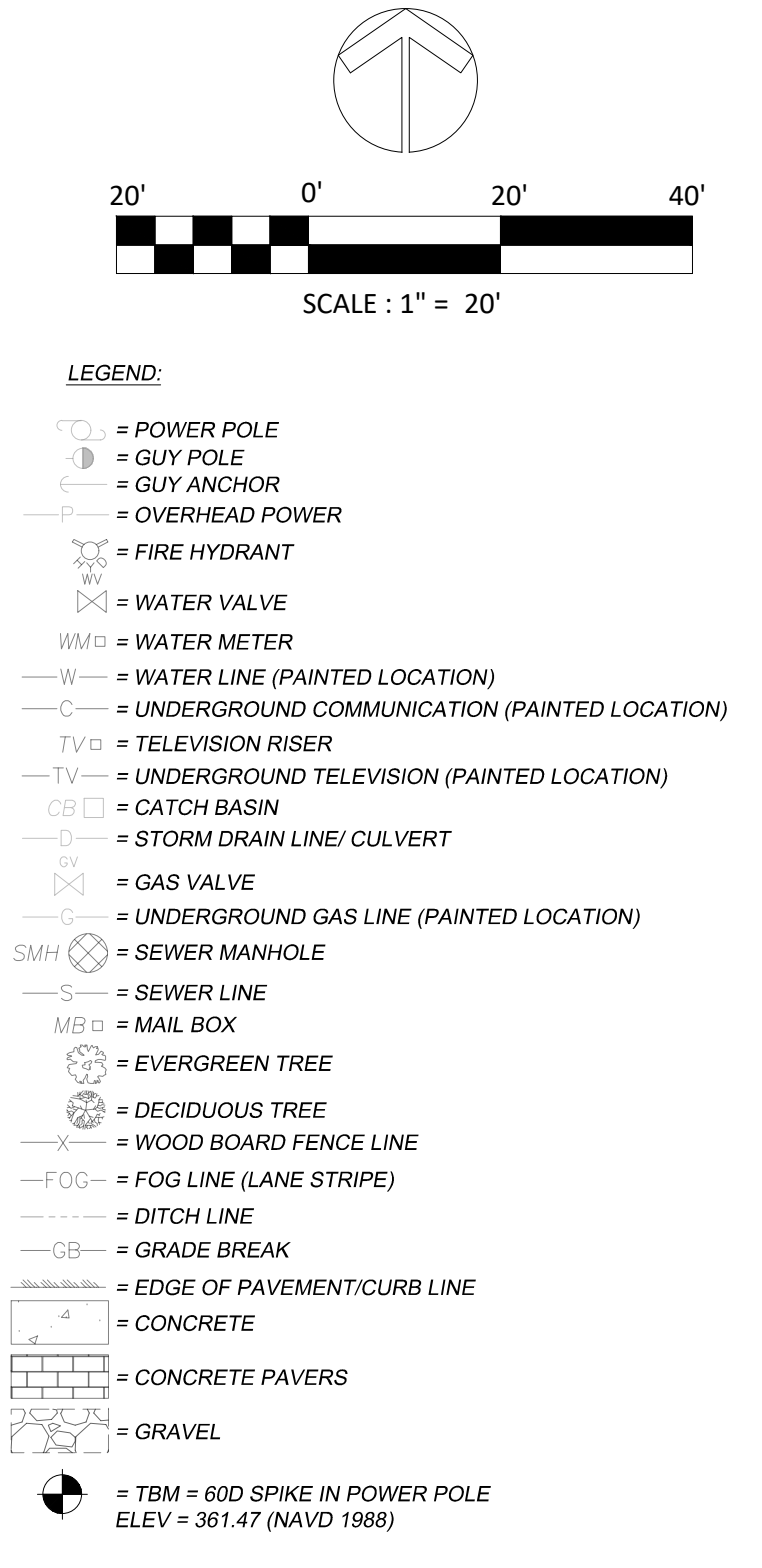
Developed Site Date and Coverage Calculations:

Proposed Lot (1),
 Total Lot Area = 10,389.71 sf
 Building Envelope Area = 4,440.4 sf
 Maximum Roof Area = 3,260.0 sf
 Driveway Area = 865.5 sf
 Lot Coverage = 3,260.0 + 865.5 = 4,125.5 sf
 Percentage of Lot Coverage = 4,125.5 / 10,389.71 = 40%
 Percentage of Landscape = (10,389.71 - 4,125.5) / 10,389.71 = 60%
 Front Yard Setback = 20'
 Rear Yard Setback = 25'
 East Side Yard Setback = 10'
 West Side Yard Setback = 13'

Proposed Lot (2),
 Total Lot Area = 10,375.56 sf
 Building Envelope Area = 4,443.4 sf
 Maximum Roof Area = 3,260.0 sf
 Driveway Area = 853.6 sf
 Lot Coverage = 3,260.0 + 853.6 = 4,113.6 sf
 Percentage of Lot Coverage = 4,113.6 / 10,375.56 = 40%
 Percentage of Landscape = (10,375.56 - 4,113.6) / 10,375.56 = 60%
 Front Yard Setback = 20'
 Rear Yard Setback = 25'
 East Side Yard Setback = 10'
 West Side Yard Setback = 13'

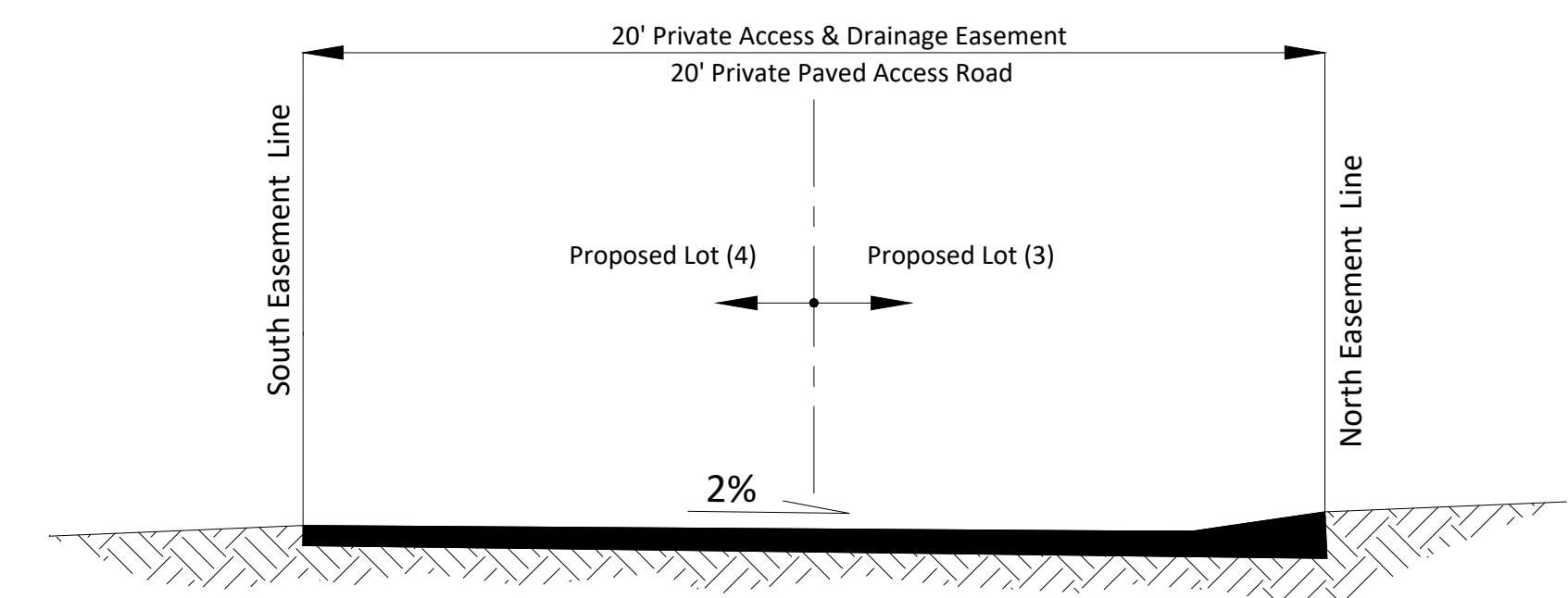
Proposed Lot (3),
 Total Lot Area = 10,219.78 sf
 Building Envelope Area = 3,999.4 sf
 Maximum Roof Area = 2,668.0 sf
 Driveway Area = 400.0 sf
 Road Area = 10' X 102' = 1,020.0 sf
 Lot Coverage = 2,668.0 + 400 + 1,020 = 4,088.0 sf
 Percentage of Lot Coverage = 4,088.0 / 10,219.78 = 40%
 Percentage of Landscape = (10,219.78 - 4,088.0) / 10,219.78 = 60%
 Front Yard Setback = 20'
 Rear Yard Setback = 25'
 North Side Yard Setback = 10'
 South Side Yard Setback = 15'

Proposed Lot (4),
 Total Lot Area = 10,180.22 sf
 Building Envelope Area = 3,959.75 sf
 Maximum Roof Area = 2,652.0 sf
 Driveway Area = 400.0 sf
 Road Area = 10' X 102' = 1,020.0 sf
 Lot Coverage = 2,652.0 + 400 + 1,020 = 4,072.0 sf
 Percentage of Lot Coverage = 4,072.0 / 10,180.22 = 40%
 Percentage of Landscape = (10,180.22 - 4,072.0) / 10,180.22 = 60%
 Front Yard Setback = 20'
 Rear Yard Setback = 25'
 North Side Yard Setback = 15'
 South Side Yard Setback = 10'



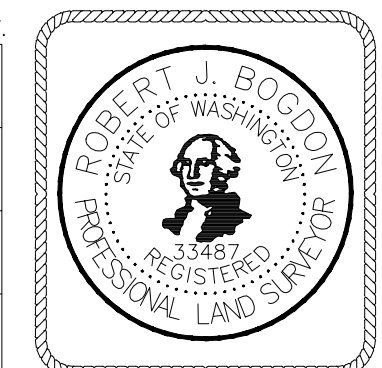
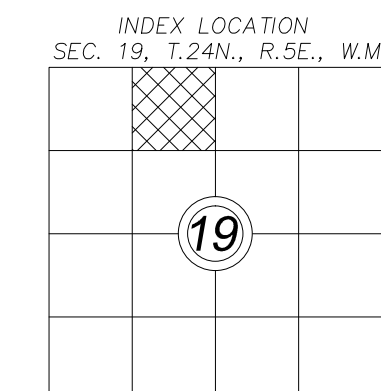
- 1 20' Wide Private Access and Drainage Easement
- 2 20' Wide Paved Access Road Area = 2,040 sf.
- 3 20' Wide Paved Access Road Connection
- 4 5' Wide Private Water and Sewer Easement
- 5 10' Wide Private Drainage and Access Easement

Lot Slope Calculations:
Lot (1),
 (Grade 358 - Grade 356) / 104' = 1.90 %
Lot (2),
 (Grade 358 - Grade 356) / 104' = 1.9%
Lot (3),
 (Grade 360 - Grade 358) / 102' = 2.0 %
Lot (4),
 (Grade 360 - Grade 358) / 102' = 2.0 %



20' Wide Private Access Road
 N.T.S.

LEGAL DESCRIPTION:
 THE NORTH 200 FEET OF THE SOUTH 400 FEET OF VACATED BLOCK 4, LINDLEY ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 103, RECORDS OF KING COUNTY, WASHINGTON.
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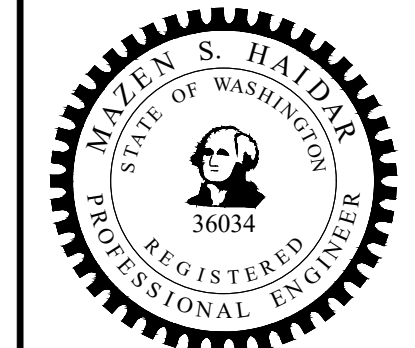
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EASTSIDE CONSULTANTS, INC.
 1320 N.W. MALL ST., SUITE B
 ISSAQUAH, WASHINGTON 98027
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Project 4833 MI - 4 - Lot Short Plat
Developed Site Conditions Map

Plan Plotted For:
Third Submittal

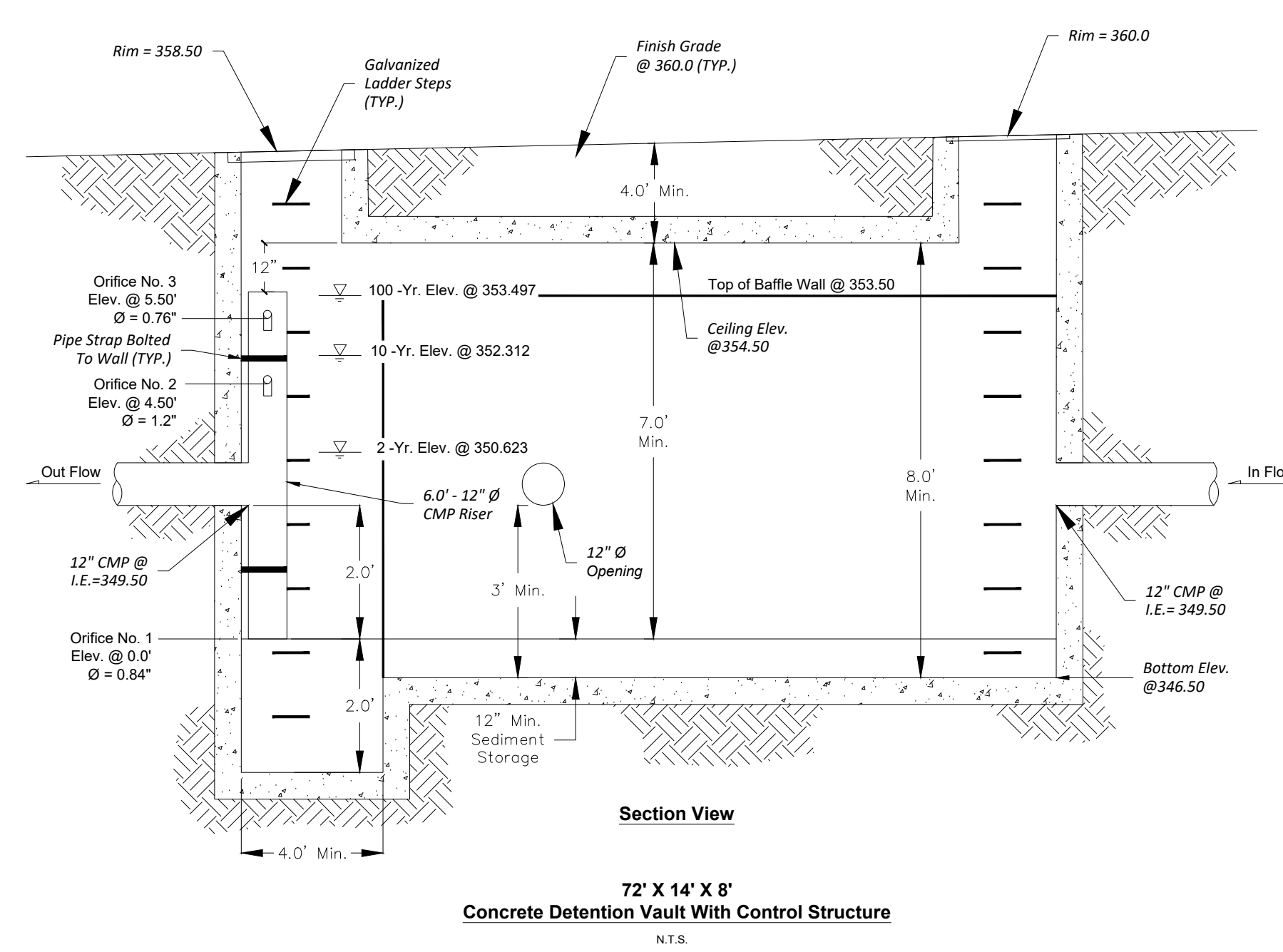
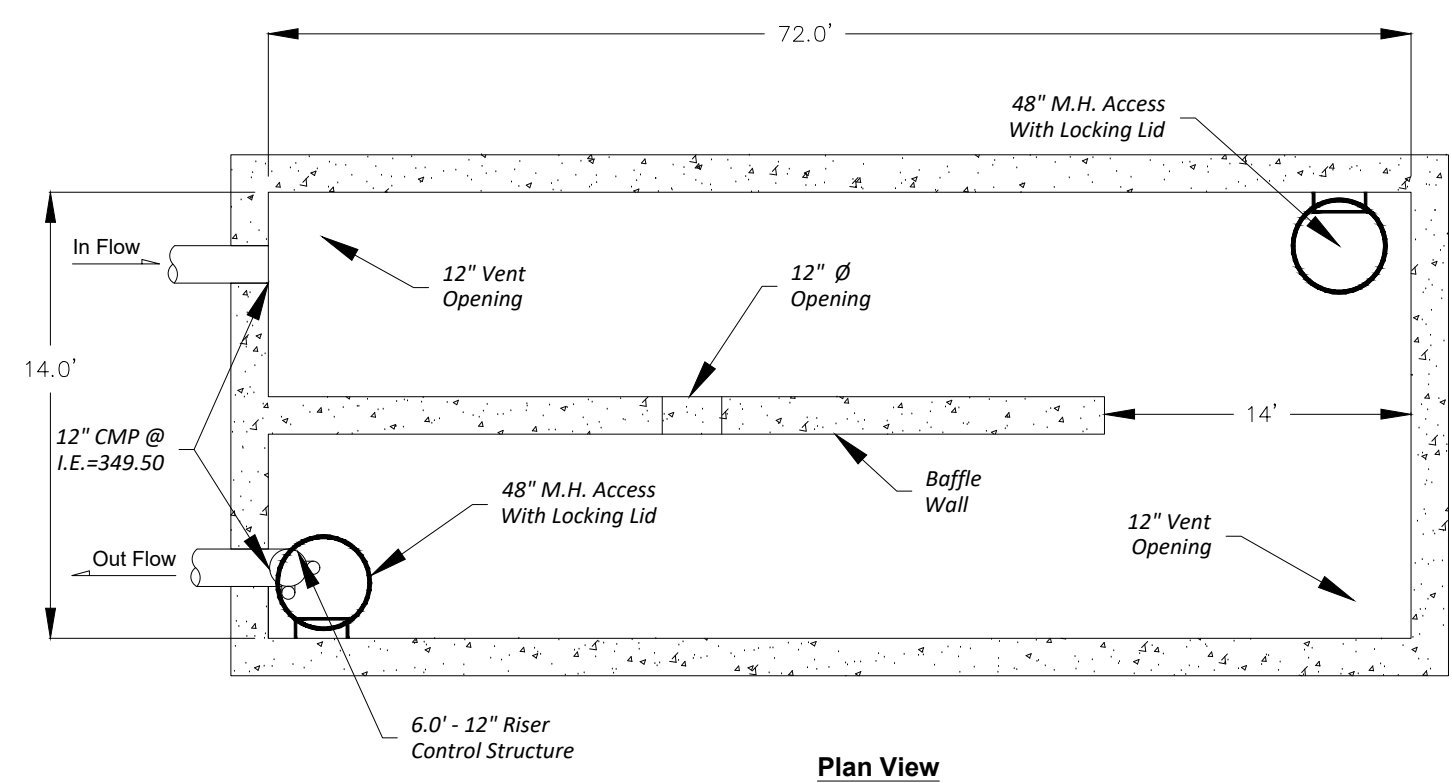
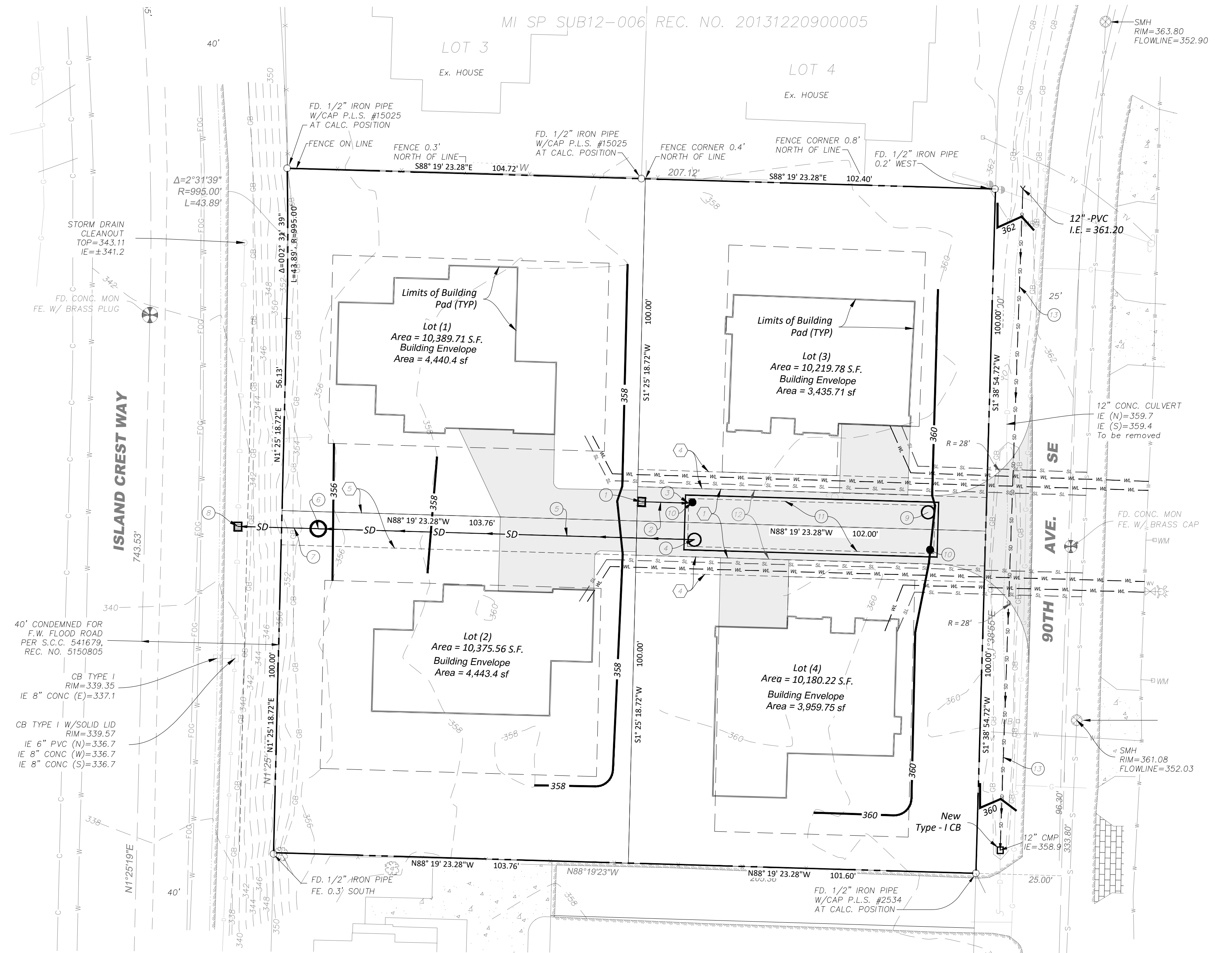
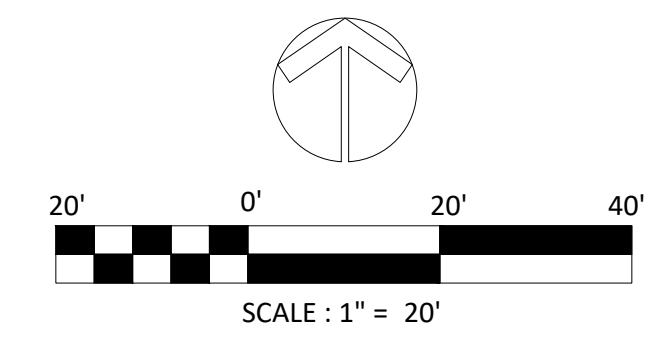
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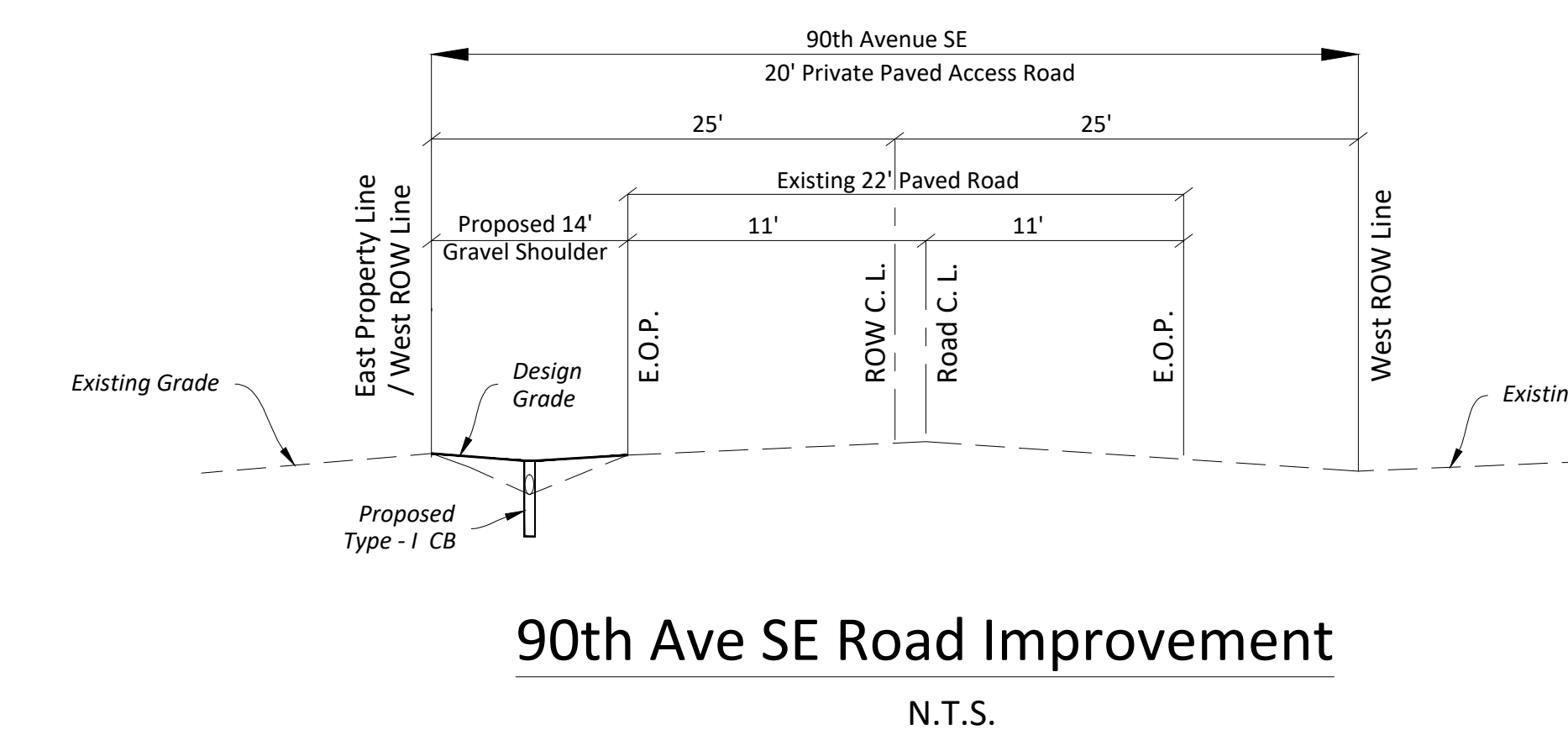
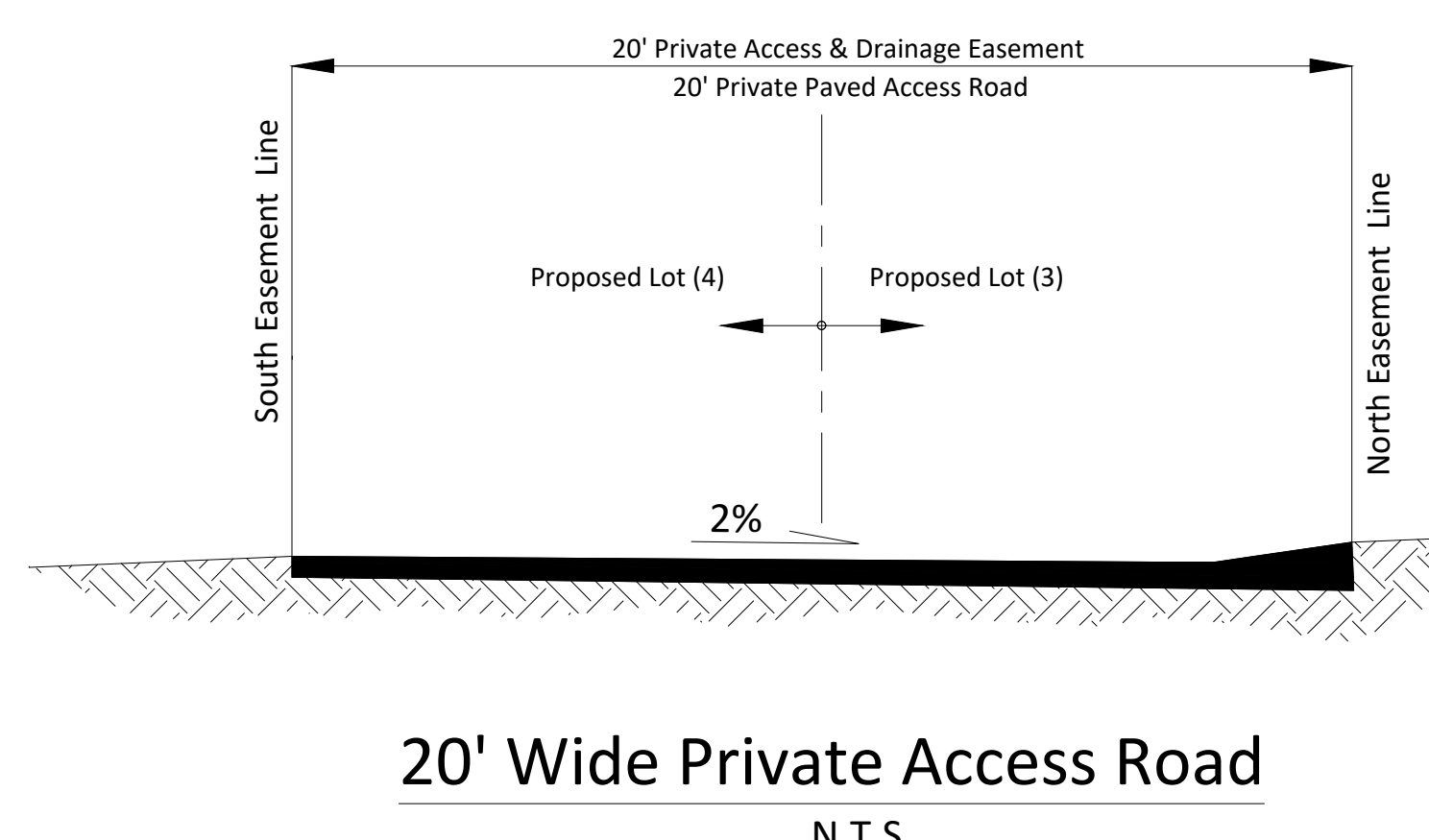


- LEGEND:**
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 - = WATER METER
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 - = DECIDUOUS TREE
 - = WOOD BOARD FENCE LINE
 - = FOG LINE (LANE STRIPE)
 - = DITCH LINE
 - = GRADE BREAK
 - = EDGE OF PAVEMENT/CURB LINE
 - = CONCRETE
 - = CONCRETE PAVERS
 - = GRAVEL
 - = TBM = 60D SPIKE IN POWER POLE ELEV = 361.47 (NAVD 1988)
 - SL — New 6" Side Sewer Line
 - WL — New 1" Water Line

- 1 48" Type - II CB W/Locking Grate Rim = 357.75 I.E. = 350.20 - 12" Ø, E
- 2 14' - 12" Ø HDPE @ 5%
- 3 12" Ø HDPE I.E. = 349.50
- 4 48" Ø Locking Lid Marked Drain Rim = 358.50 I.E. = 349.50
- 5 110" - 12" Ø HDPE @ 10%
- 6 52" Type II SDMH W/ Locking Lid Marked Drain Rim = 355.0 I.E. = 338.50 12" HDPE, E & W
- 7 24.20' - 12" Ø HDPE @ 3.1%
- 8 Type - I CB W/Locking Grate Rim = 340.75 I.E. = 337.75 New 12" Ø, E & S Remove Ex. 8" Ø, S
- 9 48" Ø Locking Lid Marked Drain Rim = 360.0 I.E. = 349.50
- 10 12" Ø Vent Opening W/Locking Cover.
- 11 Undergound Storm Water Detention Vault 72' Long X 14' Wide X 8' Deep. See Detail Hereon.
- 12 20' Wide Paved Private Access Road See Detail Hereon.

Preliminary Cut/Fill Summary

	Cut Factor	Fill Factor	Cut	Fill	Net
Surface3	1.000	1.000	1,184.0 Sq. Ft.	530.0 Cu. Yd.	16,680.0 Sq. Ft. 1,200.0 Cu. Yd. 670.0 Cu. Yd.<Fill>
Totals			1,184.0 Sq. Ft.	530.0 Cu. Yd.	16,680.0 Sq. Ft. 1,200.0 Cu. Yd. 670.0 Cu. Yd.<Fill>



- 1 20' Wide Private Access and Drainage Easement
- 2 20' Wide Paved Access Road Area = 2,040 sf.
- 3 20' Wide Paved Access Road Connection
- 4 5' Wide Private Water and Sewer Easement
- 5 10' Wide Private Drainage and Access Easement

Lot Slope Calculations:

Lot (1),
(Grade 358 - Grade 356) / 104' = 1.90 %

Lot (2),
(Grade 358 - Grade 356) / 104' = 1.90 %

Lot (3),
(Grade 360 - Grade 358) / 102' = 2.0 %

Lot (4),
(Grade 360 - Grade 358) / 102' = 2.0 %

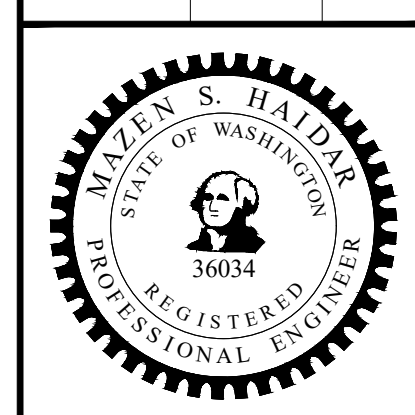
NOTE

The utility design (water, sewer, and storm) shown on this sheet is conceptual only. They have not been reviewed for construction. All design related to water, sewer, storm and roadway are not approved and will be reviewed under a separate permit."

Project 4833 MI_4 - Lot Short Plat
Preliminary Grading, Drainage, and Utilities Plan

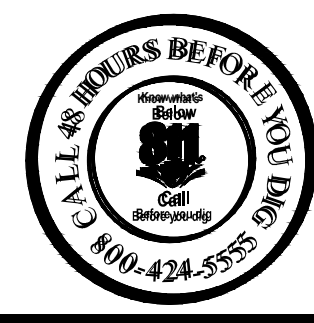
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 (206) 835-1234
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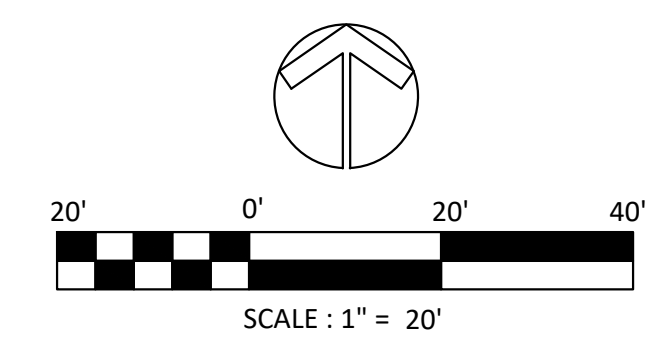
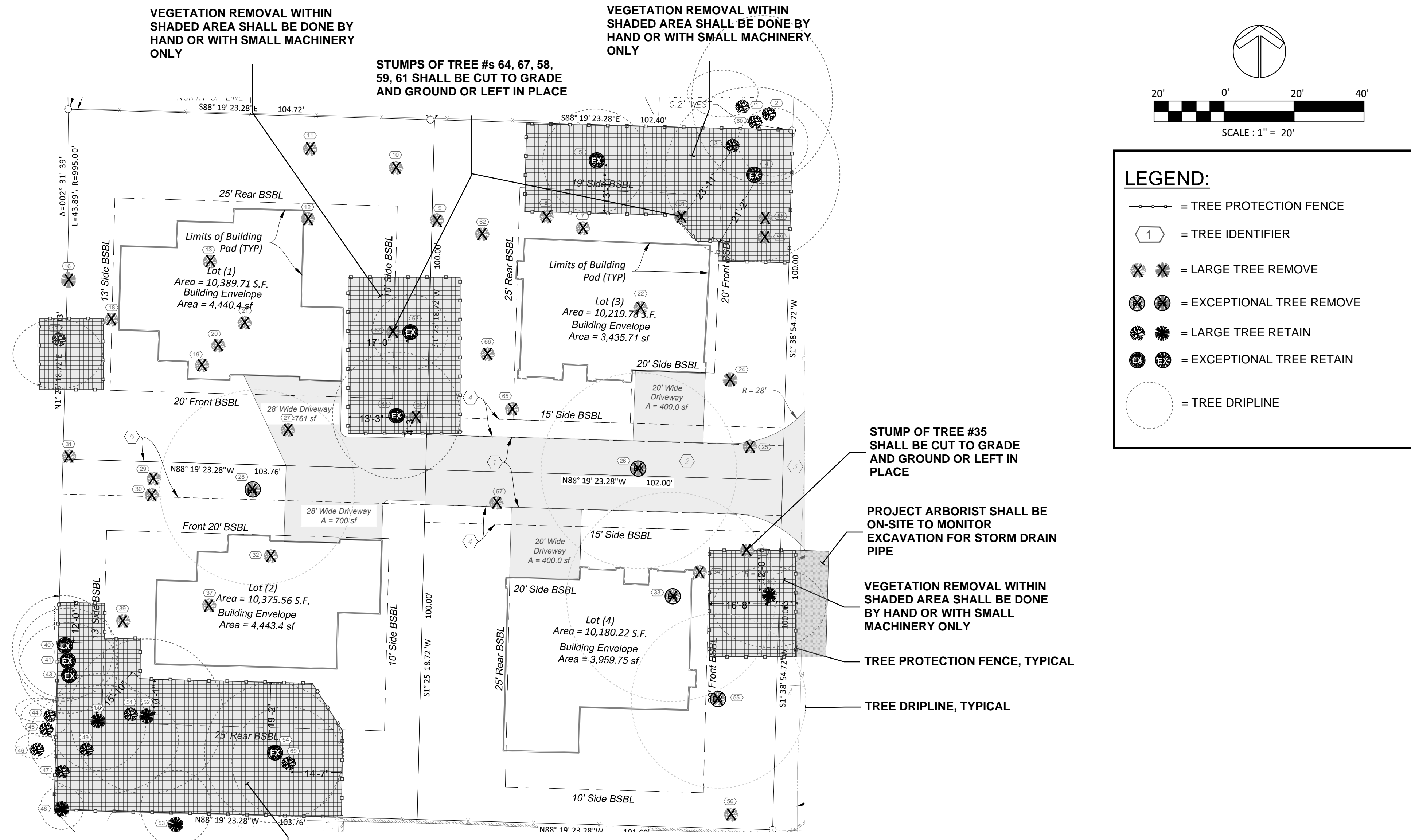


TREE RETENTION CALCULATIONS	
TOTAL LARGE TREES	54 TREES
TOTAL RETAINED TREES	16 TREES
TOTAL TREE RETENTION	30%

Note: Trees that are exceptional by size per MICC 19.10 but which are non-viable are noted as such in the exceptional designation column in the tables below

TREES TO BE RETAINED						
Tree No.	Common Name	DBH (in)	Viable	Dripline Avg (ft)	Exceptional	Proposed Action
3	Bigleaf Maple	22.5	Yes	24		Retain
4	Douglas-fir	41.5	Yes	20	Yes	Retain
5	Madrone	14.6	Yes	12	Yes	Retain
36	Deodar Cedar	19.4	Yes	14		Retain
40	Madrone	7.5	Yes	6	Yes	Retain
41	Madrone	10.9	Yes	10	Yes	Retain
43	Madrone	9.6	Yes	5	Yes	Retain
47	Madrone	10.3	No	6	No - not viable	Retain
49	Bigleaf Maple	18.7	Yes	19		Retain
50	Douglas-fir	26.1	Yes	14		Retain
51	Bigleaf Maple	11.1	No	0		Retain
52	Bigleaf Maple	21.9	Yes	21		Retain
54	Madrone	13.9	Yes	10	Yes	Retain
63	Madrone	25.2	Yes	19	Yes	Retain
68	Madrone	18.1	Yes	9	Yes	Retain
69	Bitter cherry	14.8	Yes	16		Retain

TREES TO BE REMOVED						
Tree No.	Common Name	DBH (in)	Viable	Dripline Avg (ft)	Exceptional	Proposed Action
7	Bigleaf Maple	7.5	No	8		Remove
8	Bigleaf Maple	12.1	No	9		Remove
9	Bigleaf Maple	20.9	No	11		Remove
10	Black cottonwood	28.7	Yes	32		Remove
11	Madrone	11.9	No	3	No - not viable	Remove
12	Madrone	18.9	No	11	No - not viable	Remove
13	Bigleaf Maple	19.5	No	20		Remove
16	Douglas-fir	17.5	No	14		Remove
18	Madrone	20.1	No	10	No - not viable	Remove
19	Bigleaf Maple	19.6	No	14		Remove
20	English holly	12.7	No	16		Remove
21	Bigleaf Maple	21.2	No	12		Remove
22	Red alder	12.2	No	14		Remove
24	Western Redcedar	23.5	Yes	16		Remove
25	Bigleaf Maple	19.6	No	20		Remove
26	Douglas-fir	38.6	Yes	26	Yes	Remove
27	Bigleaf Maple	32.9	No	30	No - not viable	Remove
28	Western Redcedar	39.1	Yes	24	Yes	Remove
29	Madrone	10.4	No	12	No - not viable	Remove
30	Bigleaf Maple	20.0	No	19		Remove
31	Douglas-fir	15.5	Yes	14		Remove
32	Bigleaf Maple	28.3	No	26		Remove
33	Madrone	28.1	Yes	22	Yes	Remove
34	Bigleaf Maple	25.1	No	14		Remove
35	Bigleaf Maple	31.6	No	27	No - not viable	Remove
37	Bigleaf Maple	17.6	No	21		Remove
39	Bigleaf Maple	21.2	No	8		Remove
55	Bigleaf Maple	32.0	Yes	23	Yes	Remove
56	Bigleaf Maple	36.9	No	26	No - not viable	Remove
57	Eastern Dogwood	6.4	Yes	9		Remove
58	Willow (native)	9.5	No	3	No - not viable	Remove
59	Willow (native)	9.2	No	7	No - not viable	Remove
61	Bigleaf Maple	8.5	No	1		Remove
62	Bitter cherry	8.5	No	12		Remove
64	Madrone	8.5	No	8	No - not viable	Remove
65	Common hawthorn	6.1	No	10		Remove
66	Bitter cherry	10.1	No	11		Remove
67	Bigleaf Maple	15.6	No	12		Remove



LEGEND:

- = TREE PROTECTION FENCE
- ① = TREE IDENTIFIER
- ✕ = LARGE TREE REMOVE
- ✕ = EXCEPTIONAL TREE REMOVE
- ⊗ = LARGE TREE RETAIN
- ⊗ = EXCEPTIONAL TREE RETAIN
- = TREE DRIPLINE

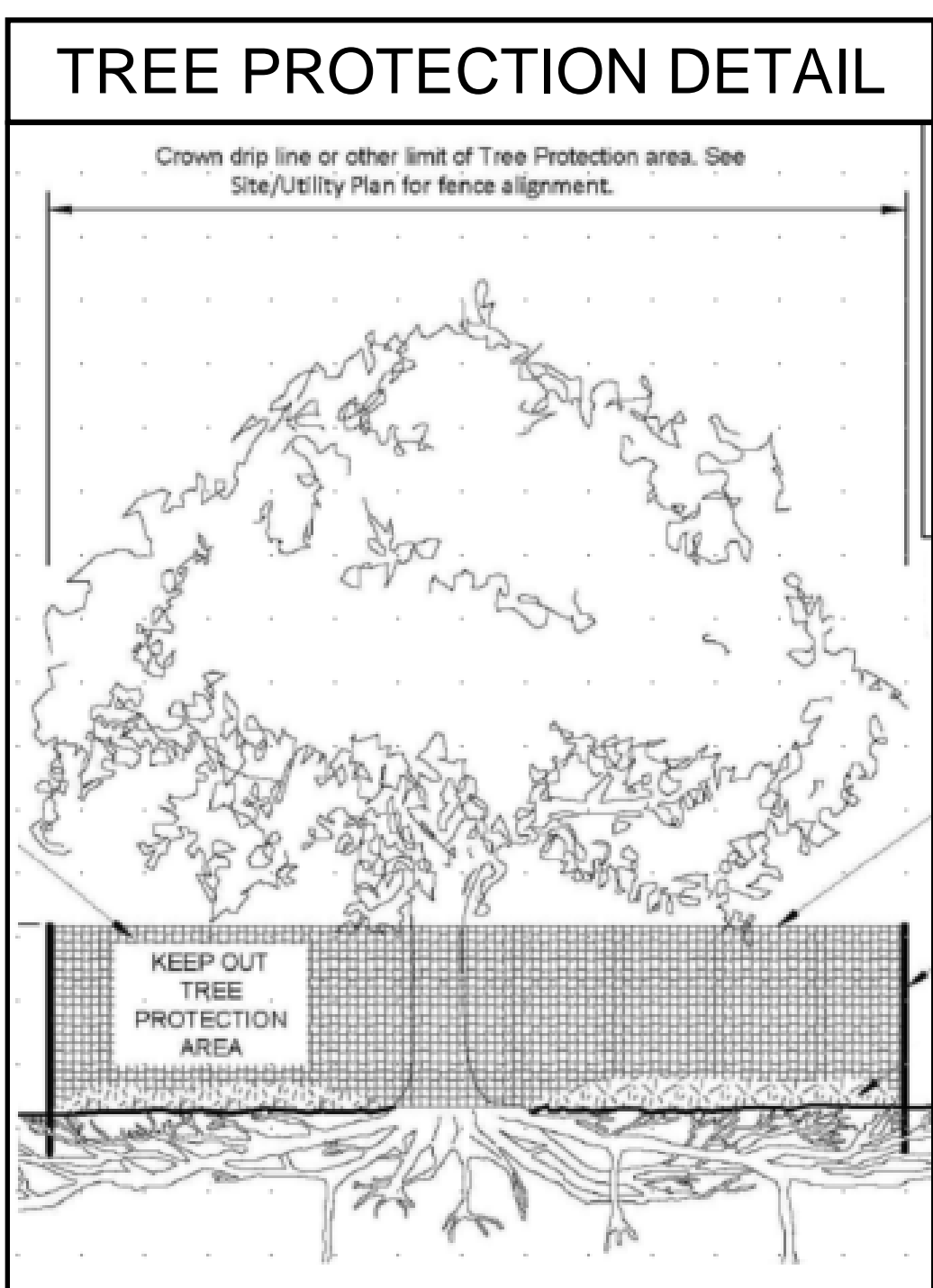
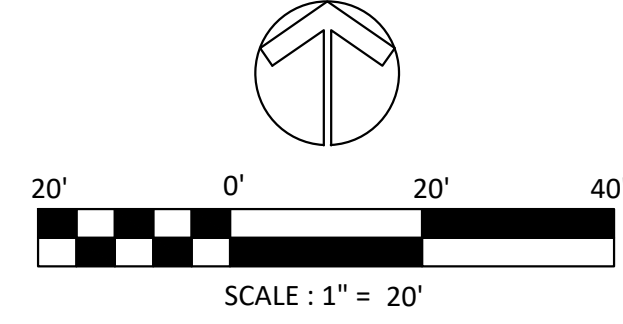
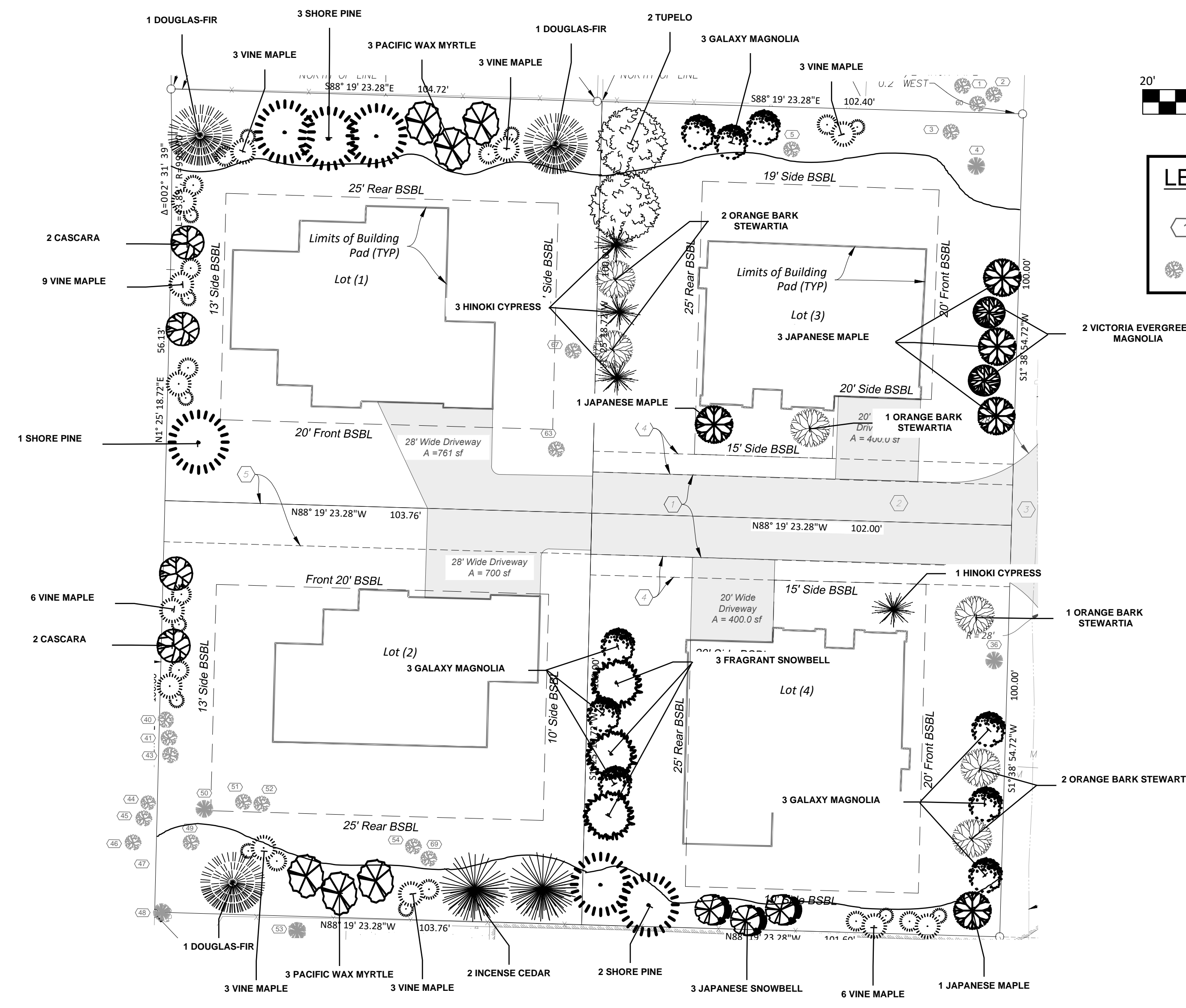


TABLE 1 - ARBORIST RECOMMENDATIONS FOR TREE PROTECTION

General - All Retained Trees

1. Tree Protection Fence: shall be installed as shown on the Tree Protection Plan and consist of 6-foot-tall chain-link fencing. Fencing shall be installed on concrete footings and securely attached by clamping the panels together.
2. Tree Protection Signage: plastic laminate signs shall be affixed to the fencing in 15-foot intervals using zip ties or wire which state "Tree Protection Area - Keep Out".
3. No work, excavation, trenching, material storage, cleaning or dumping shall occur behind the tree fencing.
4. Under no circumstances shall the grade be lowered within the Tree Protection Fencing area.
5. All invasive and other vegetation removed within the driplines of the trees shall be done mainly by hand or using small machinery only.
6. The stumps of removed trees within Tree Protection Areas shall be left in place and not ripped from the ground with heavy machinery.



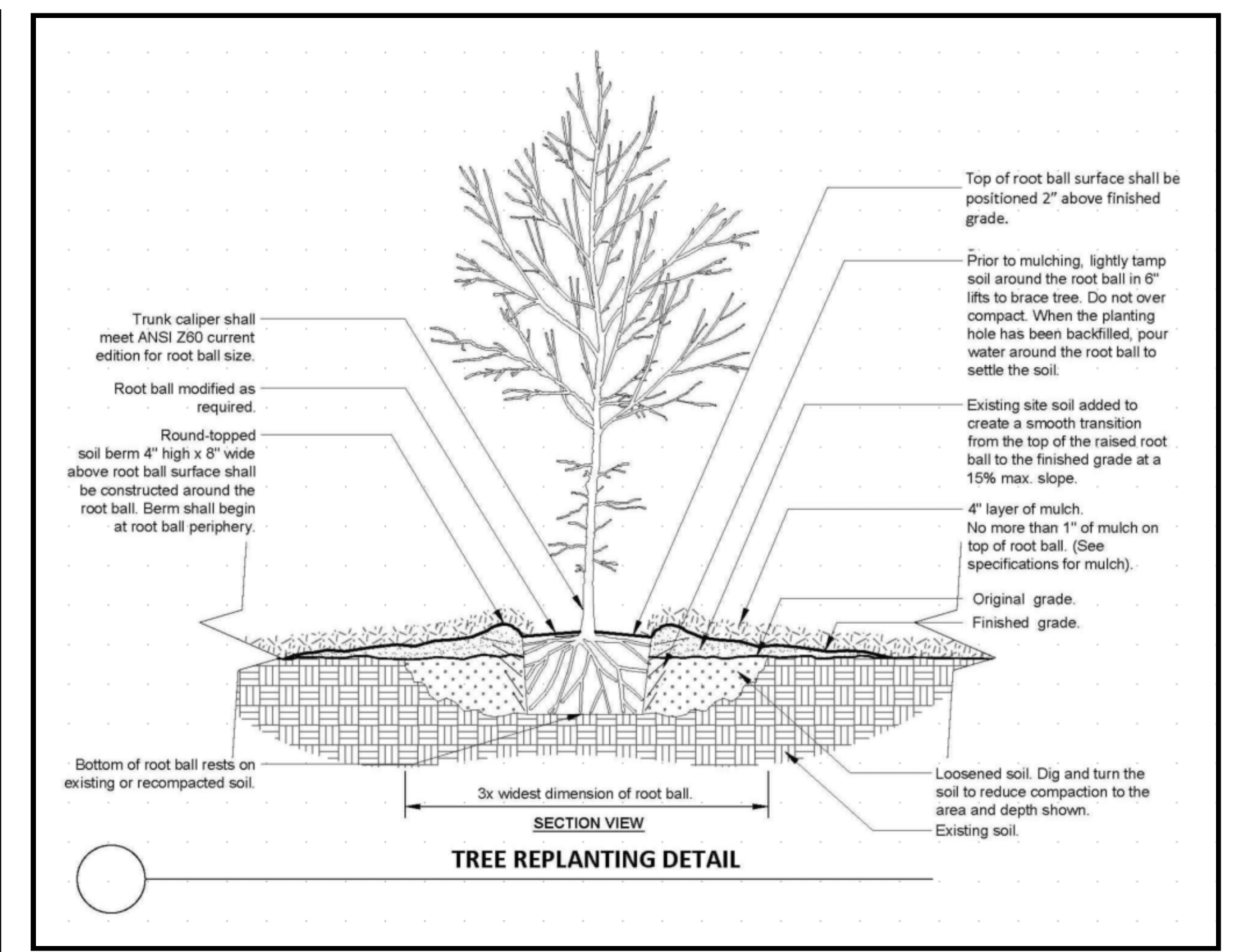
LEGEND:
 (1) = TREE IDENTIFIER
 (●) = EXISTING TREE

Tree Planting Schedule					
Symbol	Species	Scientific Name	Native	Qty	Size
	Douglas-fir	<i>Pseudotsuga menziesii</i>	Yes	3	6' tall
	Shore Pine	<i>Pinus contorta</i>	Yes	6	6' tall
	Incense Cedar	<i>Calocedrus decurrens</i>	No	2	6' tall
	Tupelo	<i>Nyssa sylvatica</i>	No	2	1.5" caliper
	Cascara	<i>Frangula purshiana</i>	Yes	4	1.5" caliper
	Victoria Evergreen Magnolia	<i>Magnolia grandiflora 'Victoria'</i>	No	4	1.5" caliper
	Pacific Wax Myrtle	<i>Myrica californica</i>	Yes	6	1.5" caliper
	Vine Maple	<i>Acer circinatum</i>	Yes	33	1.5" caliper
	Japanese Maple	<i>Acer palmatum</i>	No	5	1.5" caliper
	Orange Bark Stewartia	<i>Stewartia monadelph</i>	No	6	1.5" caliper
	Hinoki Cypress	<i>Chamaecyparis obtusa</i>	No	4	6' tall
	Galaxy Magnolia	<i>Magnolia 'Galaxy'</i>	No	9	1.5" caliper
	Fragrant Snowbell	<i>Styrax obassia</i>	No	3	1.5" caliper
	Japanese Snowbell	<i>Styrax japonicus</i>	No	3	1.5" caliper

Total Replacement Trees	
Native	52
Non-Native	38
Total Replacement Trees	90

TREE PLANTING SPECIFICATIONS

- Stage all trees before installation.
- Spacing on the plan is approximate. Trees shall be planted no closer than 10 feet apart. Large conifer trees shall be spaced 15 to 20 feet apart.
- Dig a hole at least 2 x the width of the root ball. The hole should be as deep as the root ball.
- Remove the tree from the container. If wrapped in burlap and wire, all materials should be removed prior to planting.
- Gently break up the root ball and cut away any wrapping/girdling roots.
- Place the root ball in the hole and fill the hole with loose soil.
- Ensure the root collar is not buried when filling the hole.
- Pack the soil down gently and water deeply.



PROJECT 4833 MI_4 - LOT SHORT PLAT

TREE PLANTING PLAN

CASCARA TREE CONSULTING

PN-8078A
 QUALIFIED TREE RISK
 ASSESSOR



PREPARED:
 8/9/2023
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SHEET NO.
 TR-02